

Application for Dock Construction with Variance



Application for Dock Construction Permit Modification with Request for Variance

BD-24-05-034-MOD2

District #4

Applicants: Julio A. Calderin
Sandra I. Deniz

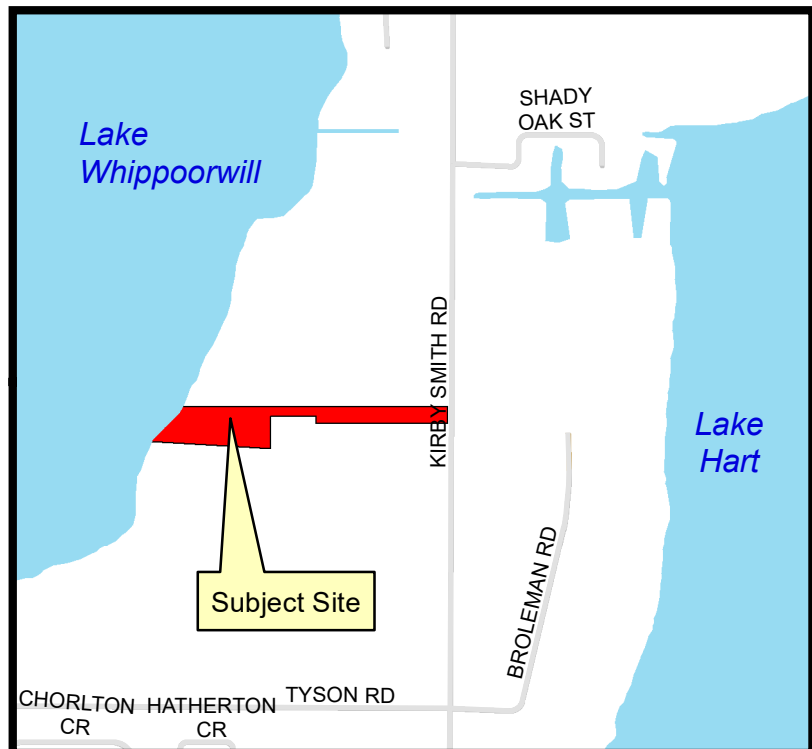
Address: 12598 Kirby Smith Road

Parcel ID: 20-24-31-0000-00-027

Project Site



Property Location



12" MINIMUM DOCK FLOOR ELEVATION
2' MINIMUM WATER DEPT ON MOORING AREAS
5' MAXIMUM WATER DEPTH ON MOORING AREAS.

The proposed additional slip will include a boat lift

received
7/22/2025



Sunrise Deck & Dock
LLC806 Verona St., Suite 2B,
Kissimmee FL 34741
WWW.SUNRISEDECKANDDOCK.COM
407-530-7796 | 407-530-7880

JULIO CALDERIN
12598 KIRBY SMITH
RDORLANDO FL, 32832

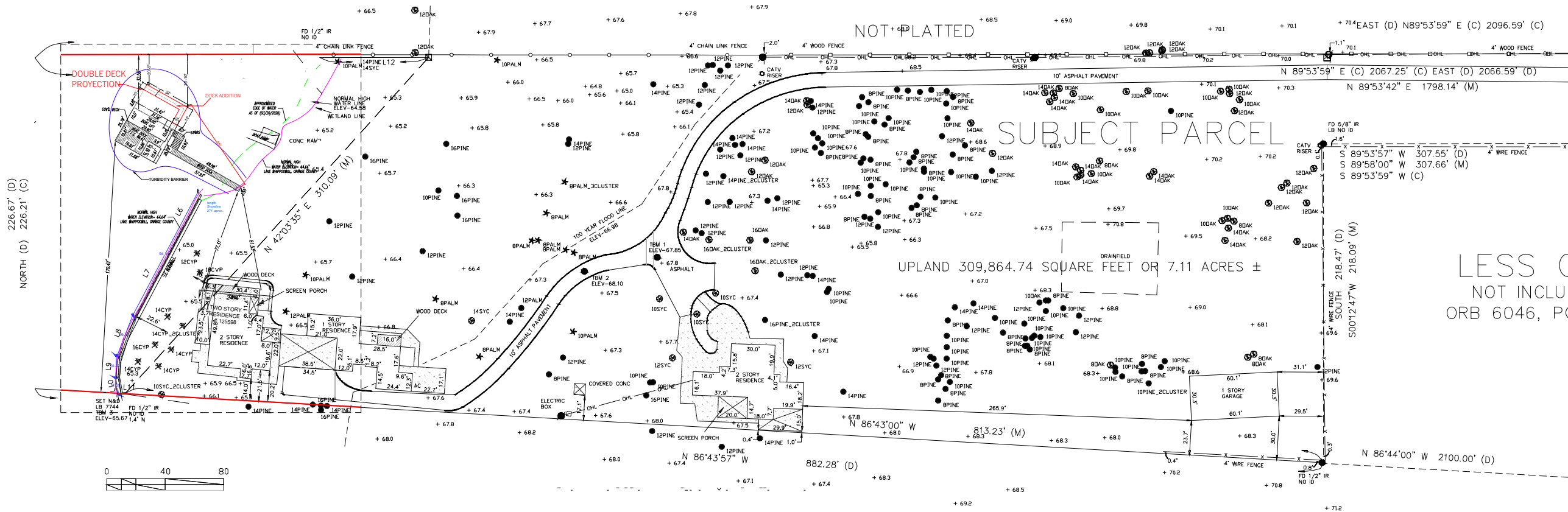
PLANS

RELEASE: PERMIT

REVISION: 04-APR -2024

PROJECT: 24-0422

01 / 01



1 SCALE: 1" = 40'-0" SITE PLAN

DESIGN LOADS:

Ultimate Wind: 140 mph at 3 second gust (30 psf minimum)
Building Type: II Risk Factor: 1.0
Exposure Category: "D" (FBC 1609.4.3 & ASCE 7-22, Section 26.7.2)
Deck Live Load: 40 psf Dead Load: 10 psf
Roof Live Load: 20 psf Dead Load: 10 psf
Guardrails and handrails: 200 psf
Guardrail in fill components: 50psf Stairs: 40psf
Components and cladding, design wind pressures + 38psf/
38psf

TIMBER:

Design in accordance with the National Design specification for wood construction, with loading in accordance with the Florida Building Code. All graded structural lumber shall be pressure treated and meet the following minimum requirements:

CODE:

Design and Construction shall abide by the 2023 Florida Building Code, Residential 8th Edition.

Minimum bending stress = 1250 psi (No.1 dense graded, SYP treated)
Young Modulus = 1600 ksi
Maximum of 15% moisture content
Contractor may use PT Lumber Southern Yellow Pine grade #1. Lumber sizes shown are nominal sizes. Lumber shall be furnished in finished sizes meeting the requirement of the American Softwood Lumber Standard.

GALVANIZED BOLTS:

All bolts shall be galvanized be ASTM A572 grade 50 threaded round stock with a minimum yield stress of 50,000 psi.

STRUCTURAL ALUMINUM:

Conform to latest edition of Aluminum Association of Florida standard practice for aluminum design.
All aluminum shall be 6061-T6 (E= 10,000 ksi; Fy = 35 ksi)

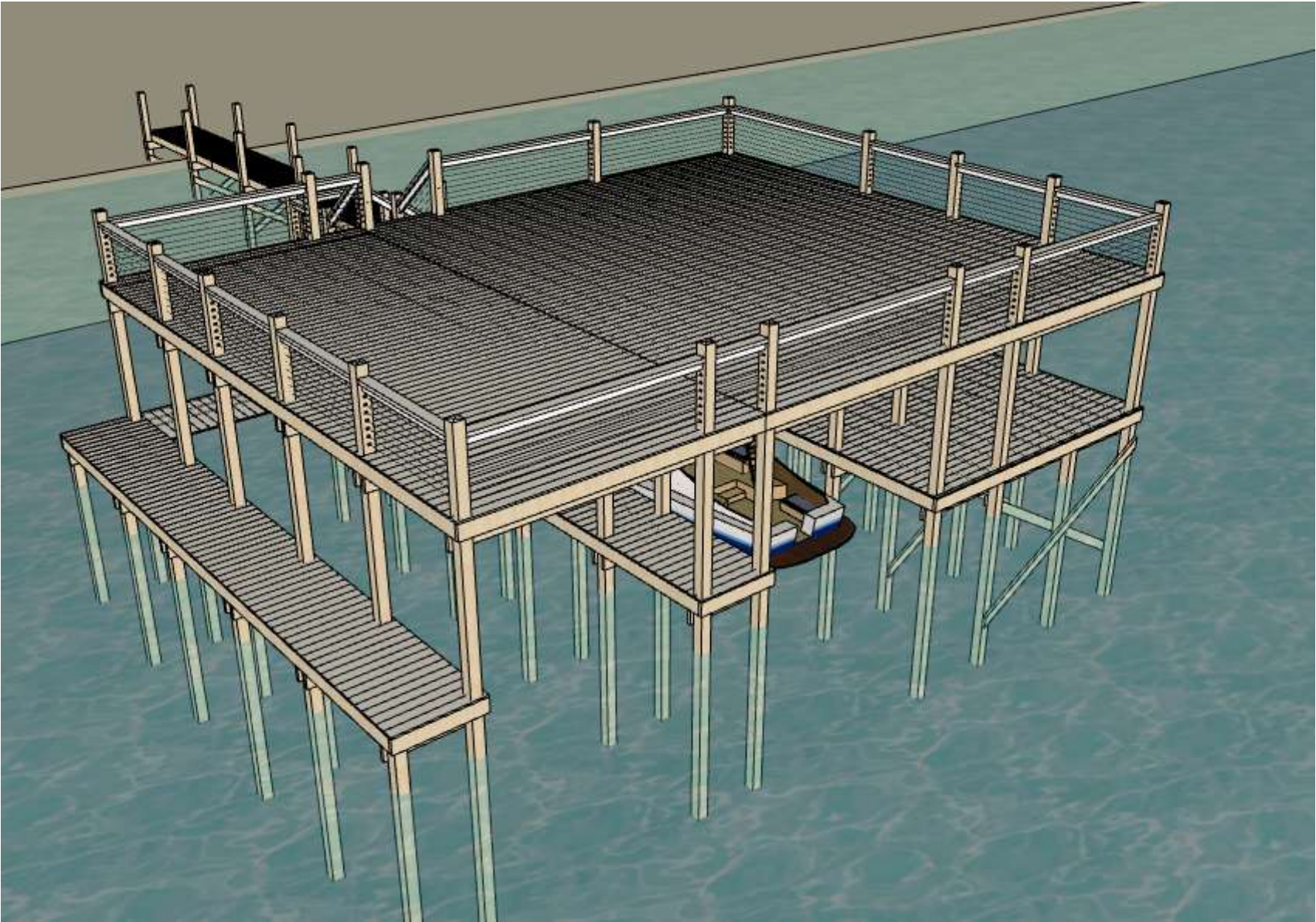
Conform to ACI 318, latest edition and ACI 301 Compressive Ultimate Strength (Minimum at 28 days) shall be 3,000 psi
Exposed chamfer edges shall be ¾.

REINFORCING STEEL:

Conform to ACI 318 and 315, Latest edition All reinforcement steel shall be ASTM A615 Grade 60. Min footing cover 3"
Smooth dowels & ties shall be ASTM A 185

FOUNDATION:

The embedded depth of the posts and the layout and design of the posts is certified to accommodate all the stresses and loads from the dock



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PROJECT ADDRESS:
JULIO CALDERIN
12598 KIRBY SMITH RD
ORLANDO FL, 32832

PROFESSIONAL ENGINEER
WILLIAM F STUHRKE PHD, PE
FLORIDA PE +22150
(407) 920-3119

GENERAL CONTRACTOR
DAVID JOSHUA MEAD
SUNRISE DECK AND DOCK LLC
806 VERONA ST SUITE 2B
KISSIMMEE FL 34744
GC# CBC1252225

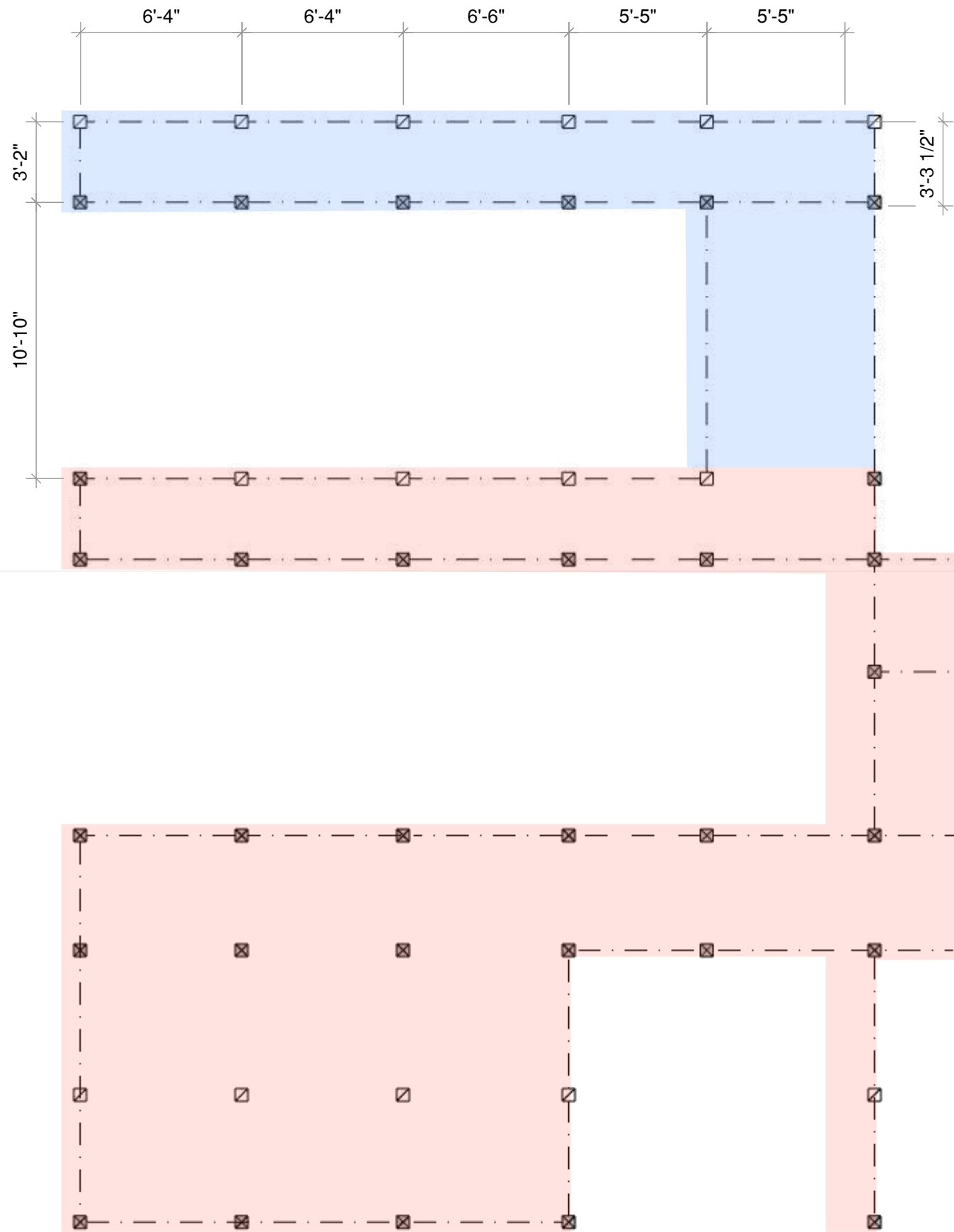
PLANS

RELEASE: PERMIT

REVISION :

PROJECT:

01/13



PROPOSED ADDITIONAL PILLING

EXISTING DOCK PILLING

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7/22/2025

PILES 6X6 PT @ 10'-0" OC MAX 5'-0" MIN INTO THE GROUND

ROOF POST

42" POST

POST UNDER DOCK



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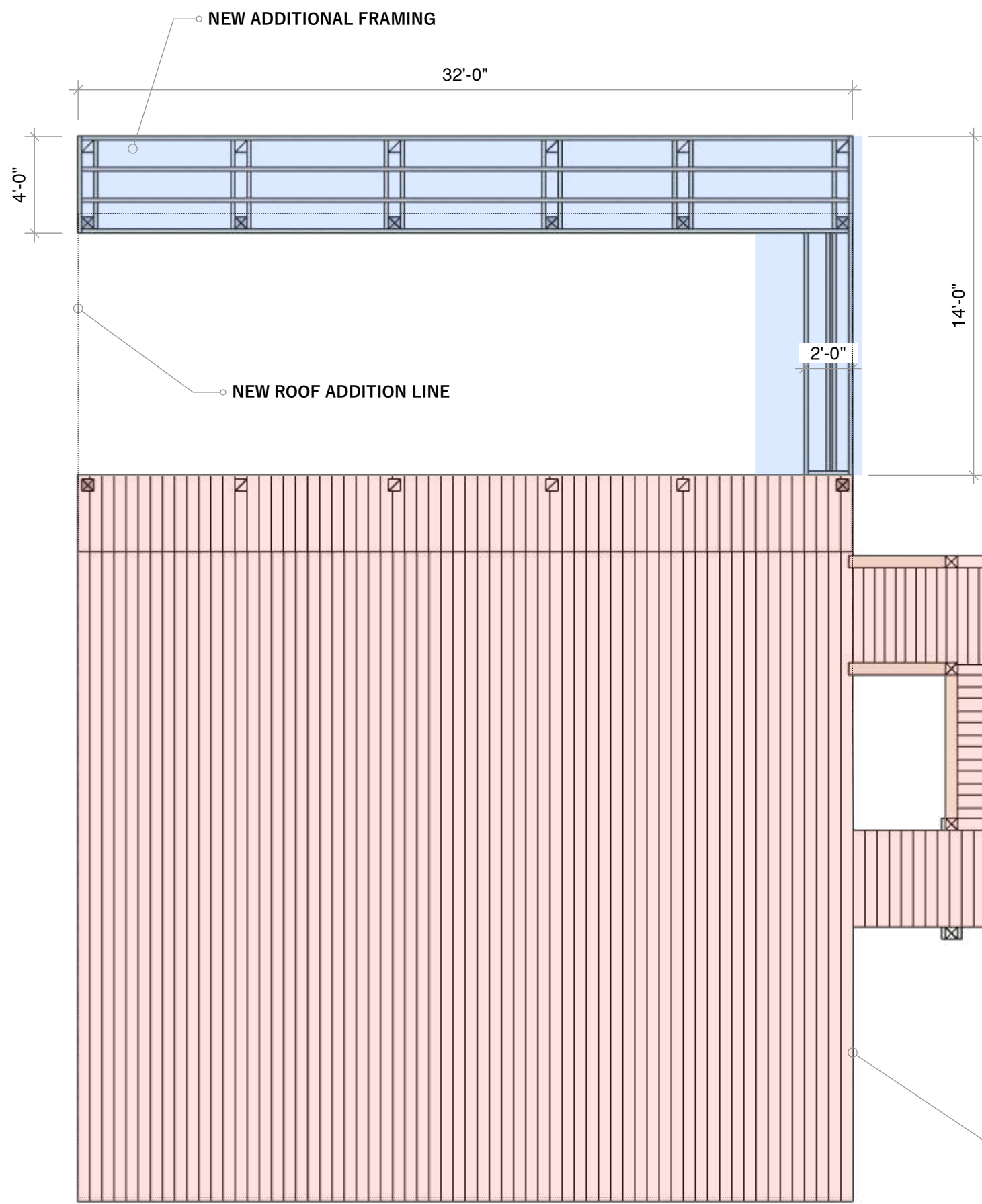
PLANS

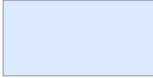

RELEASE: PERMIT

REVISION :




PROJECT:

02/13



 PROPOSED ADDITIONAL DOCK
 FRAMING AREA = 167.33 Sqrft
 EXISTING DOCK

received
 7/22/2025

 ROOF POST
 42" POST
 POST UNDER DOCK

PILES 6X6 PT @ 10'-0" OC MAX 5'-0" MIN INTO THE GROUND

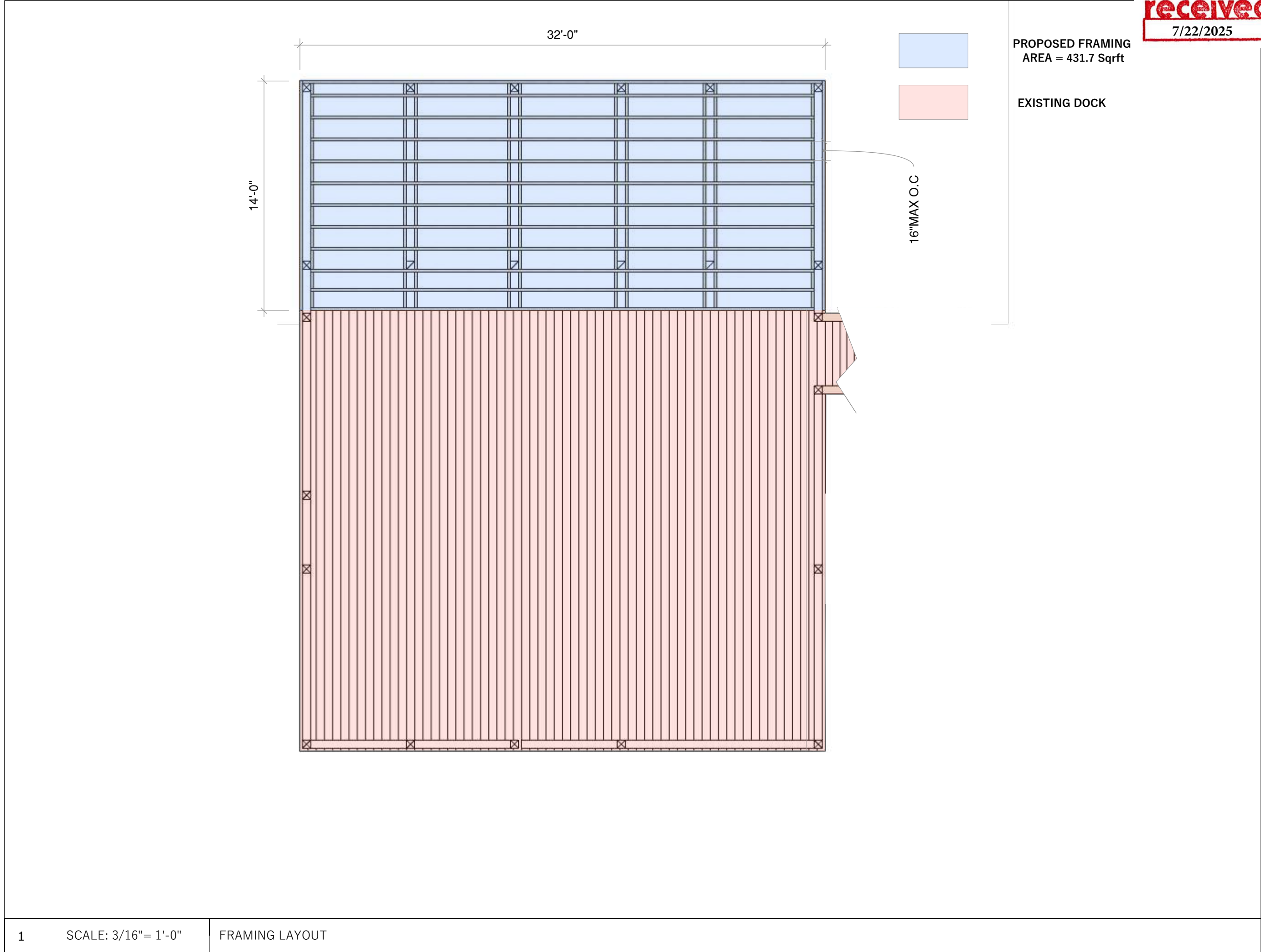


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RELEASE: PERMIT

REVISION :

PROJECT:

04/13

TOP RAIL 2X6 PT.
FASTEN EACH TO POST
W/(4) 16D NAILS

SEVEN 3/16" STAINLESS
STEEL CABLE
CABLE SPACING 4" COC

RAIL CAP 2X6 PT OR
1X6 COMPOSITE FASTEN
TO POST RAIL W/(4) 16D NAILS.
26" ABOVE FINISHED DOCK

JOISTS 2X6" MAX 2' O.C.

HEADERS BEAM 2X10"

ATTACH TO EXISTING DOCK

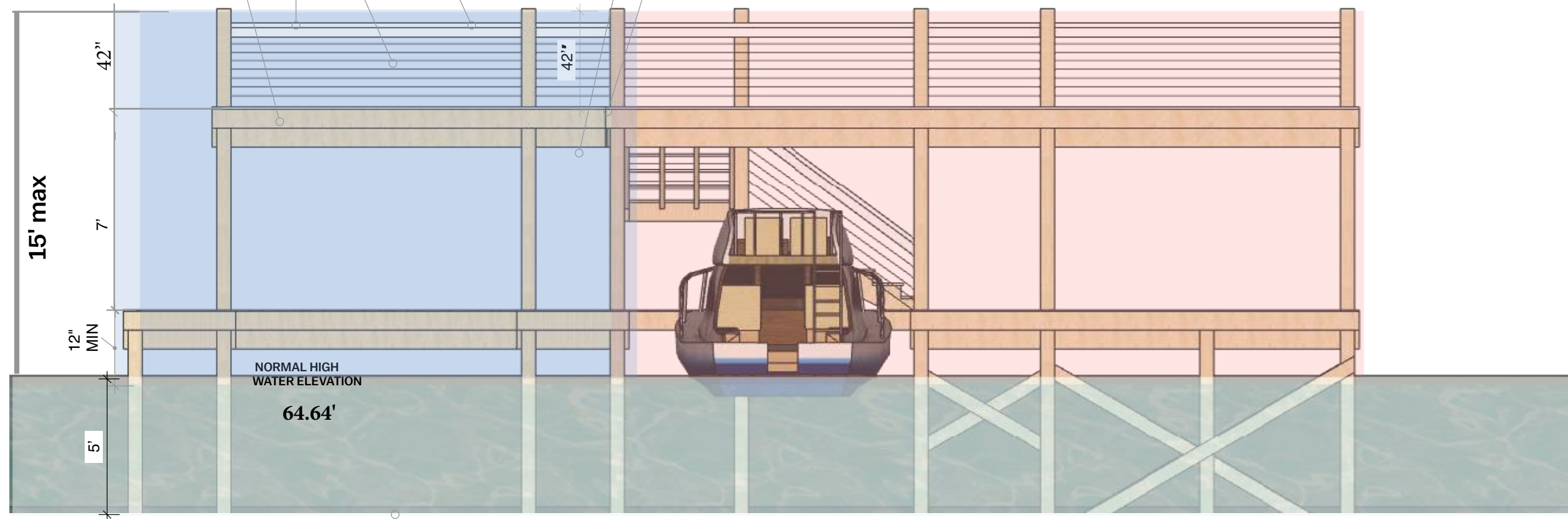
PROPOSED ADDITION

EXISTING DOCK

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FL 34741 WWW.SUNRISEDECKANDDOCK
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**12" MINIMUM FLOOR
ELEVATION OF DOCK
ABOVE NHWE OF LAKE**

**5' MAXIMUM WATER DEPTH
ALLOWED FOR MOORING
AREAS AS MEASURED FROM
NHWE**

Lake Whippoorwill

**2' MINIMUM WATER DEPTH
ALLOWED FOR MOORING AREAS
AS MEASURED FROM NHWE**

**ACCESS WALKWAY MUST BE ELEVATED A
MINIMUM OF 3' ABOVE THE GROUND
THROUGHOUT THE CONSERVATION
EASEMENT**

**PILES 6X6 PT @8'-0" OC
MAX 5'-0" MIN INTO THE
GROUND**

**JULIO CALDERIN 12598
KIRBY SMITH RD
ORLANDO FL, 32832**

PLANS

RELEASE: PERMIT

REVISION :

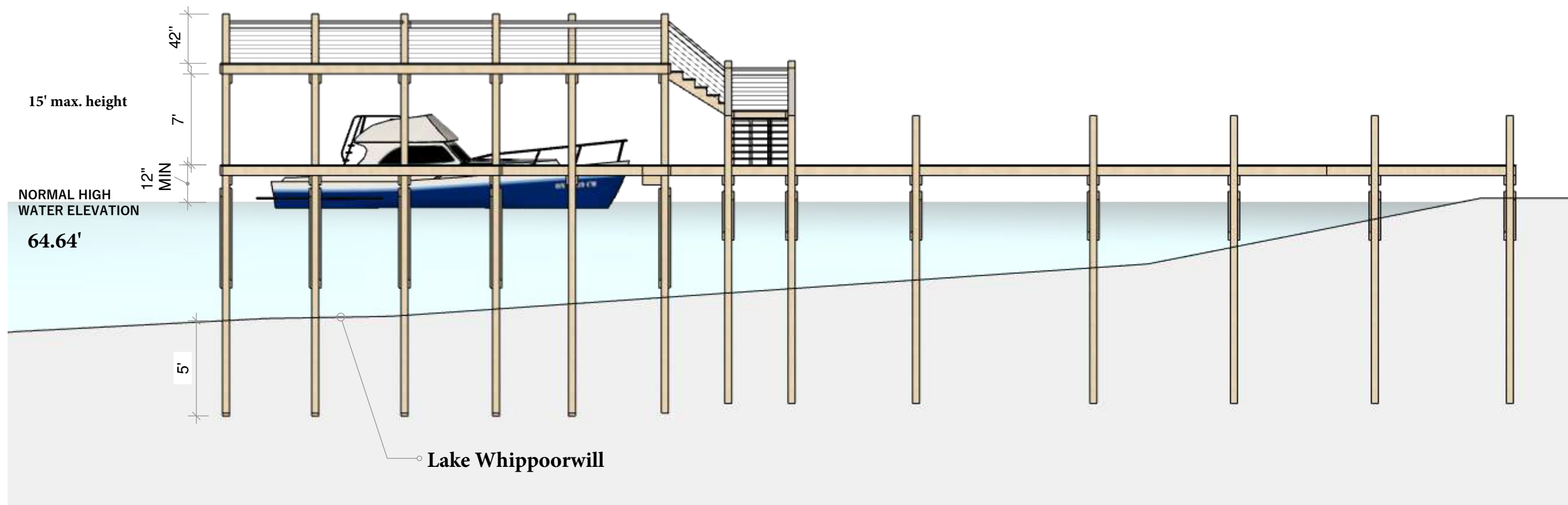
PROJECT:

05/13

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12" MINIMUM FLOOR
ELEVATION OF DOCK
ABOVE NHWE OF LAKE

2' MINIMUM WATER DEPTH ALLOWED FOR
MOORING AREAS AS MEASURED FROM NHWE

5' MAXIMUM WATER DEPTH
ALLOWED FOR MOORING
AREAS AS MEASURED FROM
NHWE

ACCESS WALKWAY MUST BE
ELEVATED A MINIMUM OF 3'
ABOVE THE GROUND
THROUGHOUT THE
CONSERVATION EASEMENT

PILES 6X6 PT @8'-0" OC MAX
5'-0" MIN INTO THE GROUND

JULIO CALDERIN 12598
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PLANS

RELEASE: PERMIT

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06/13

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7/22/2025



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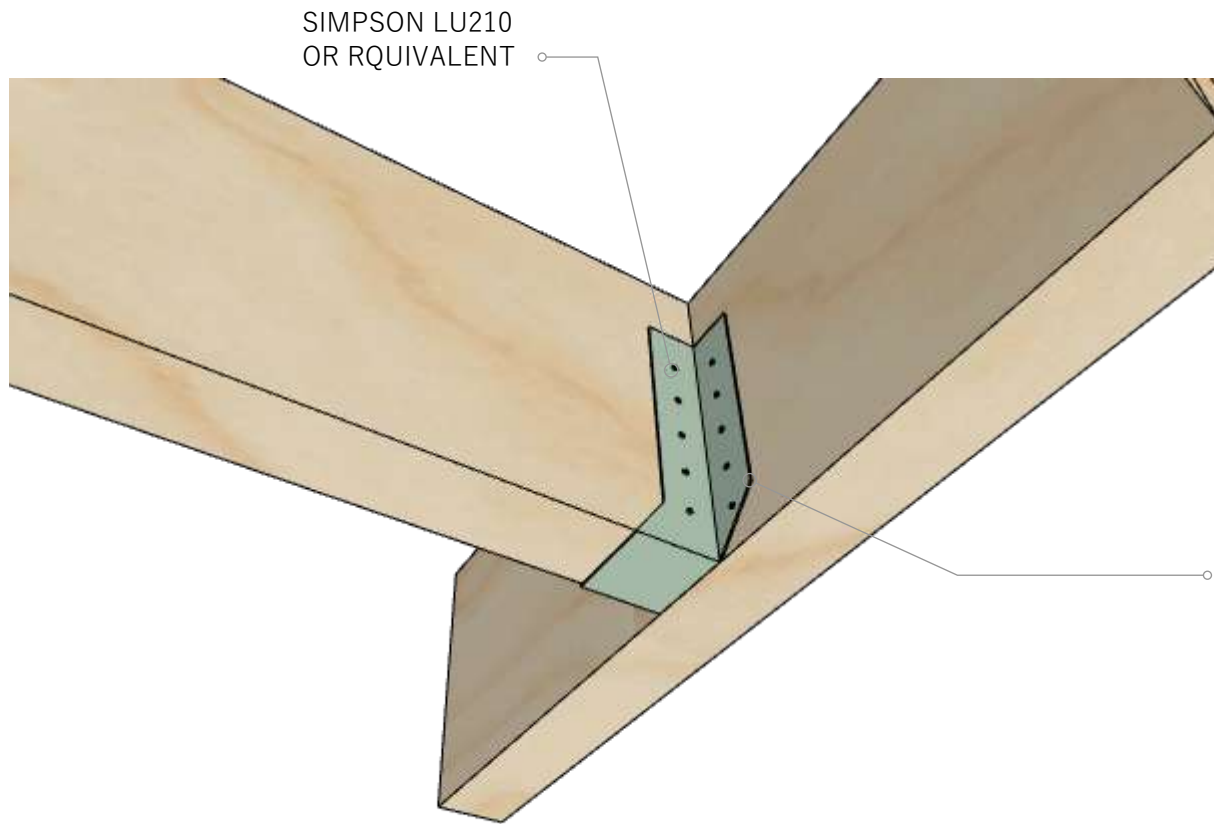
PLANS

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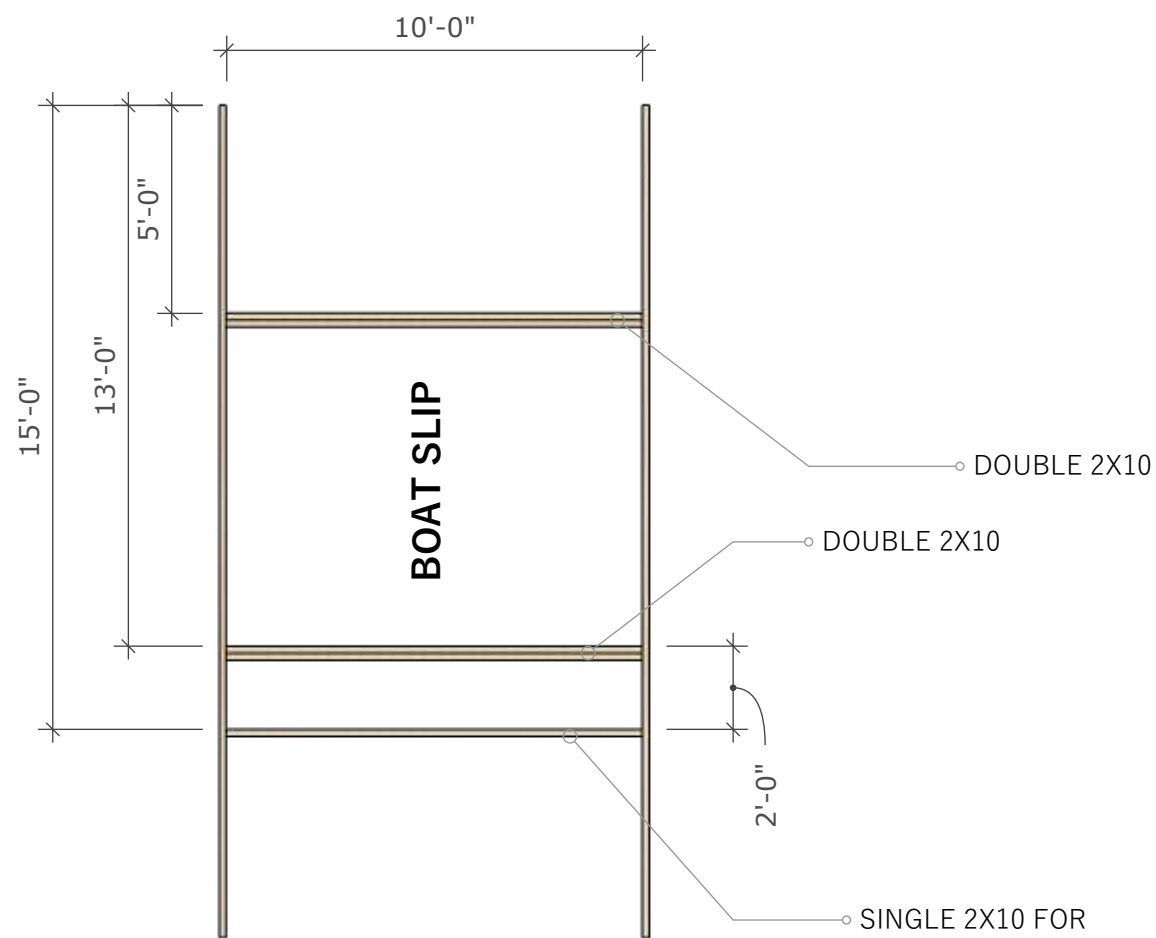
REVISION :

PROJECT:

07/13

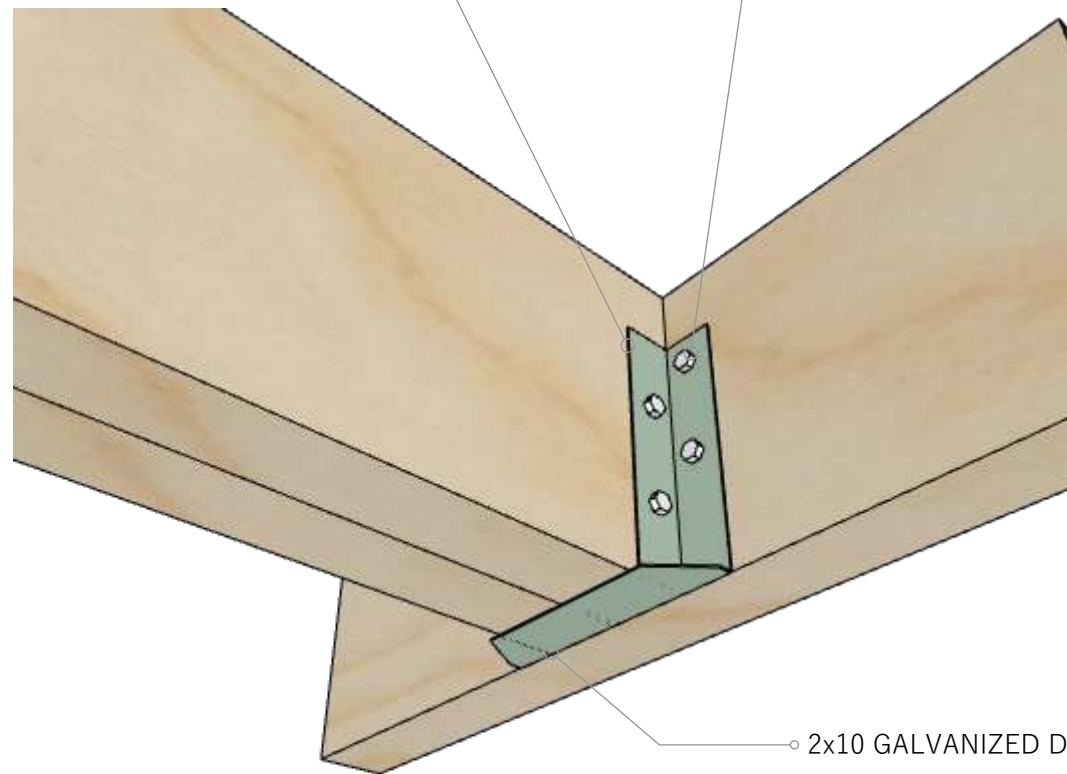


D10 LIFT HANGING DETAIL
SCALE: NTS



D11 BOAT LIFT FRAMING
SCALE: 1/32" = 1'-0"

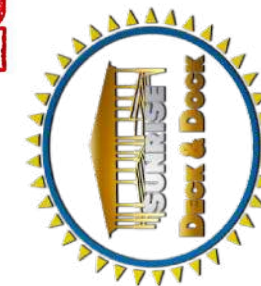
SIMPSON HU210-2 MAX
OR EQUIVALENT



D12 LIFT HANGING DETAIL
SCALE: NTS

CONNECTED WITH 1/2 GALVANIZED
CARRIAGE BOLTS

2x10 GALVANIZED DOUBLE JOIST HANGER



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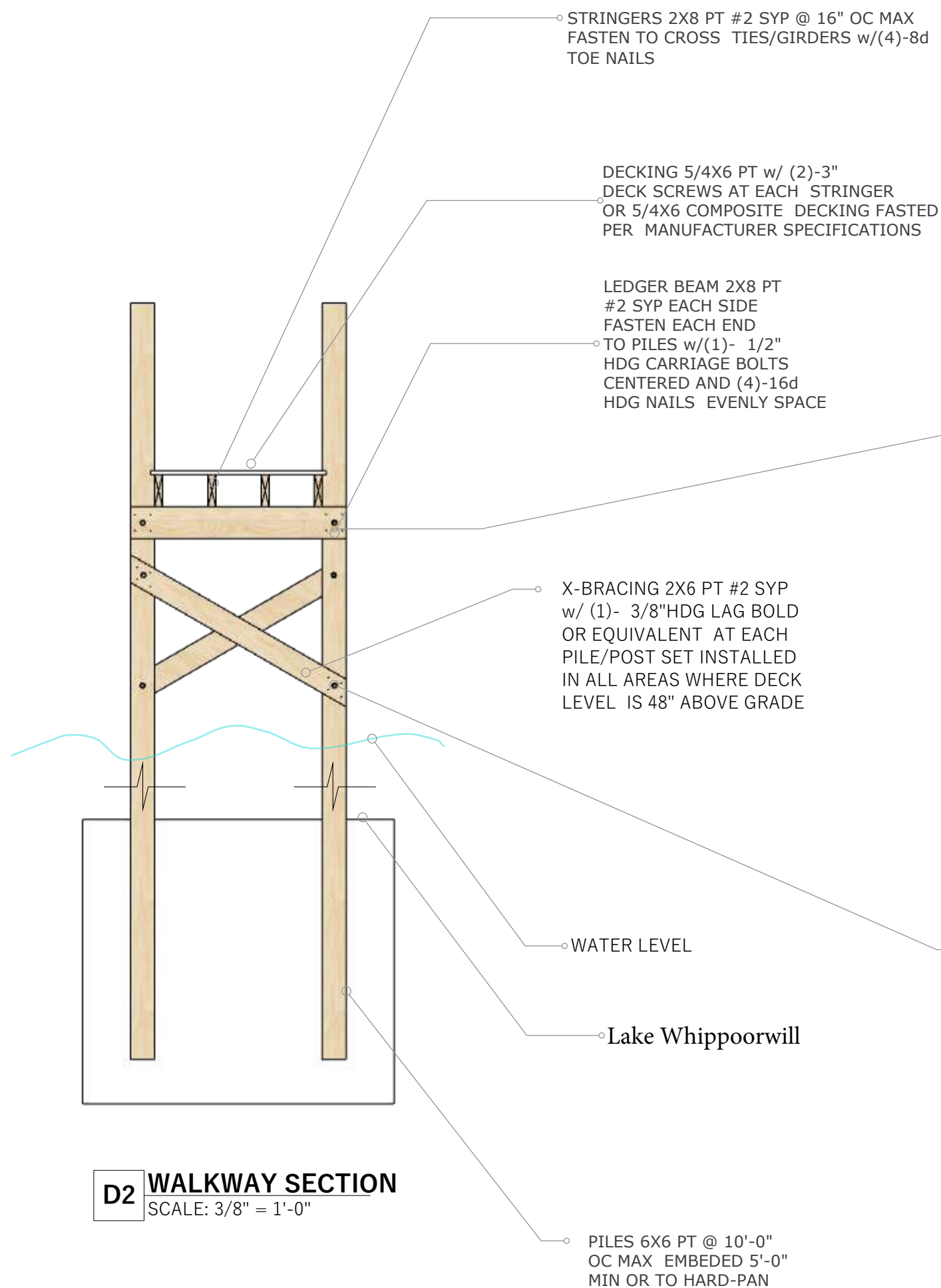
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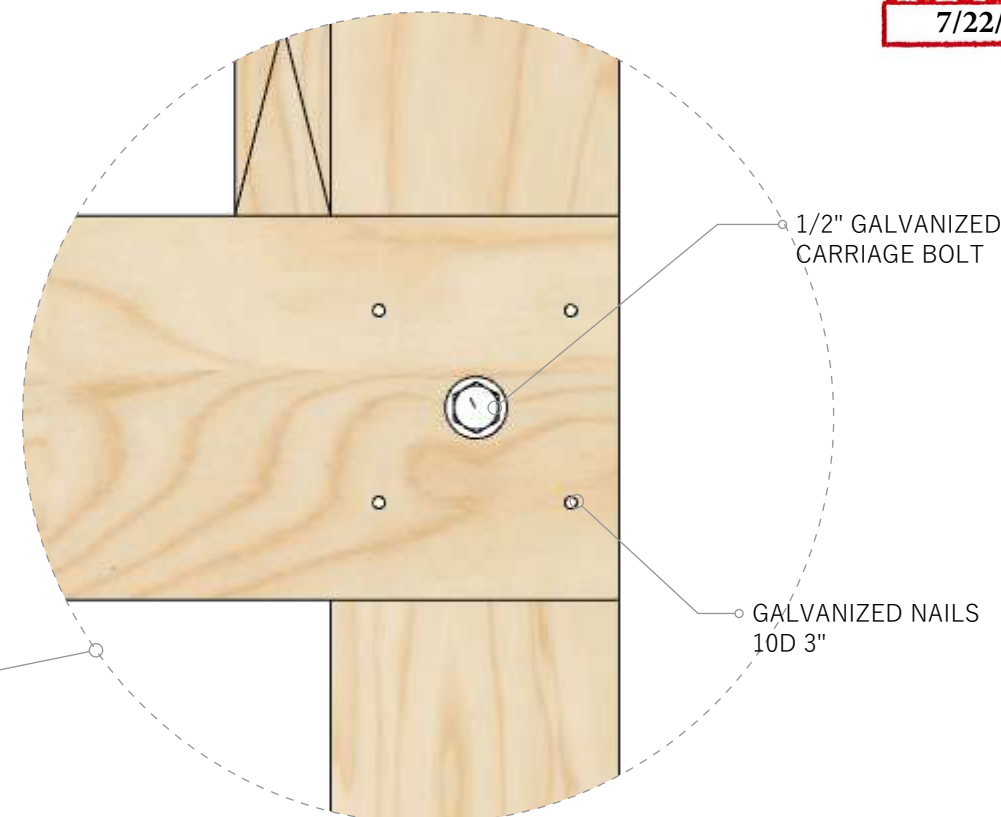
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PROJECT:

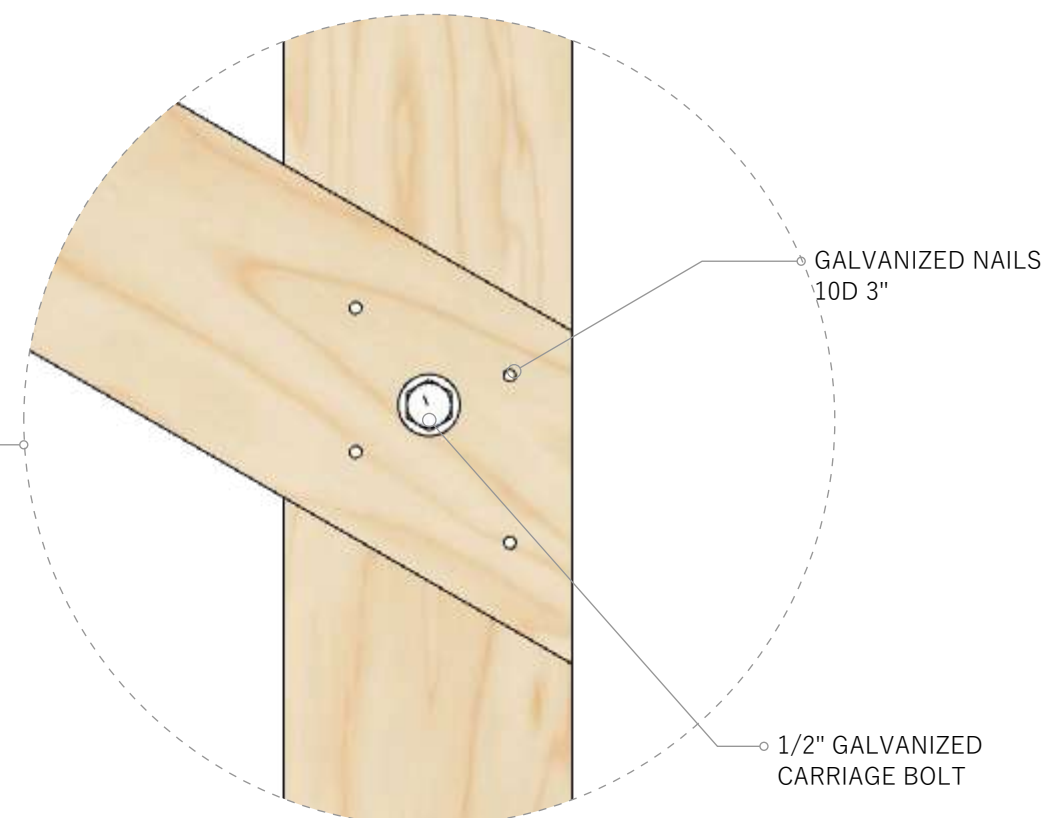
08/13



D2 WALKWAY SECTION
SCALE: 3/8" = 1'-0"

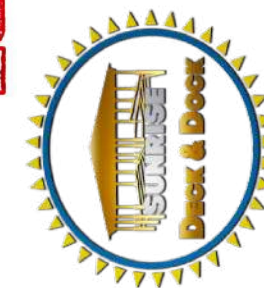


**FASTENING REINFORCEMENT
LEDGER TO POST CONNECTION**



**FASTENING REINFORCEMENT
CROSS BEAMS TO POST
CONNECTION**

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7/22/2025



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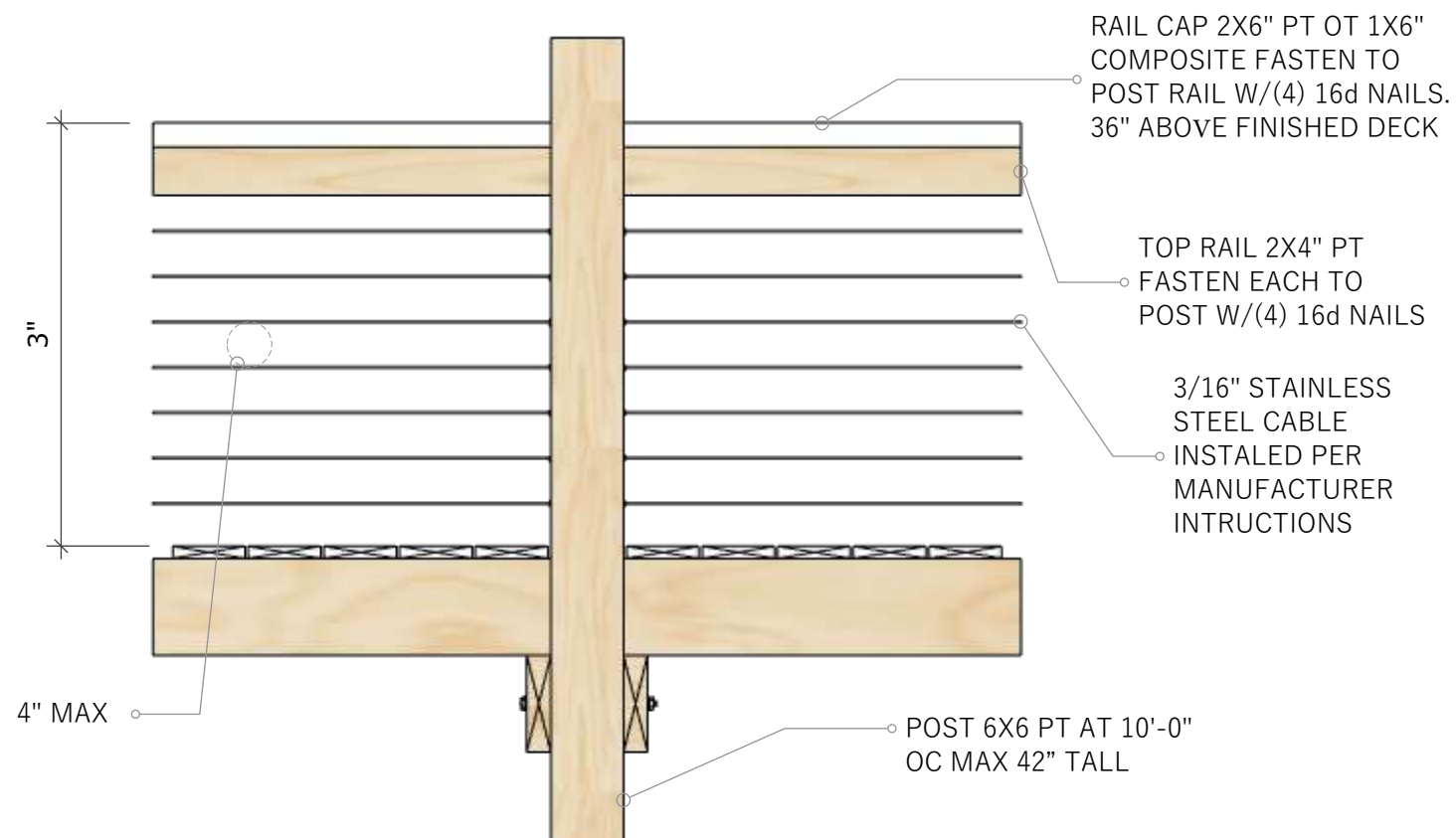
PLANS

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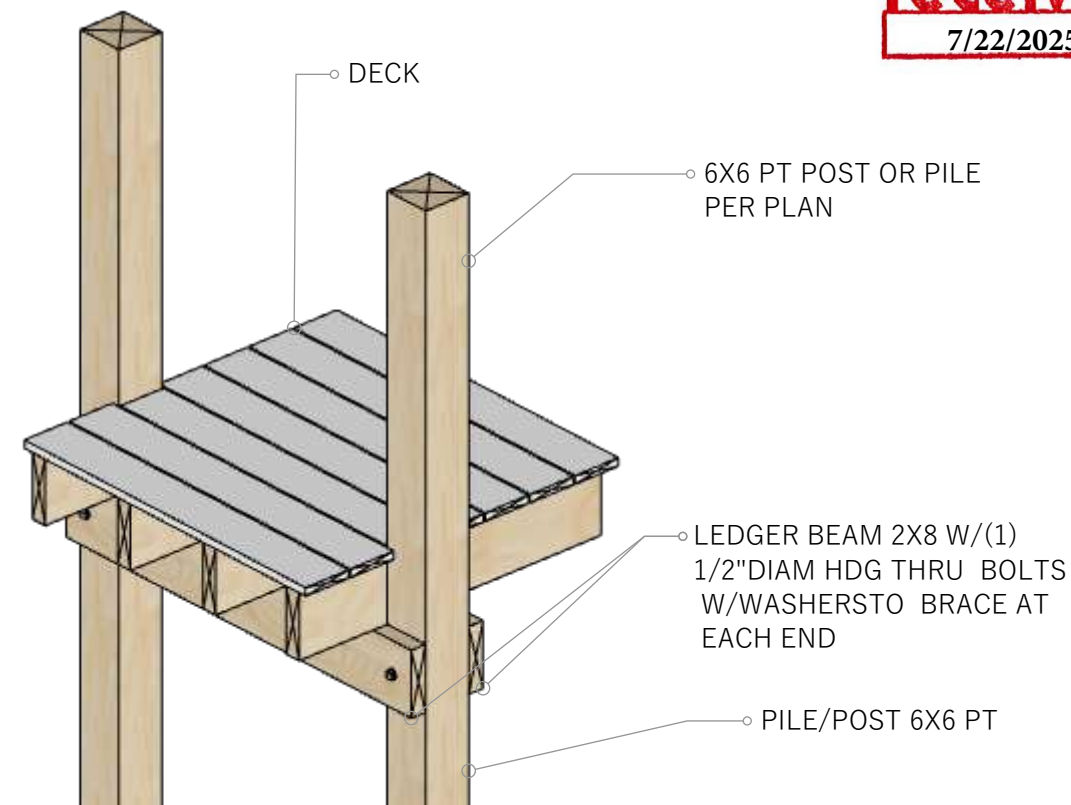
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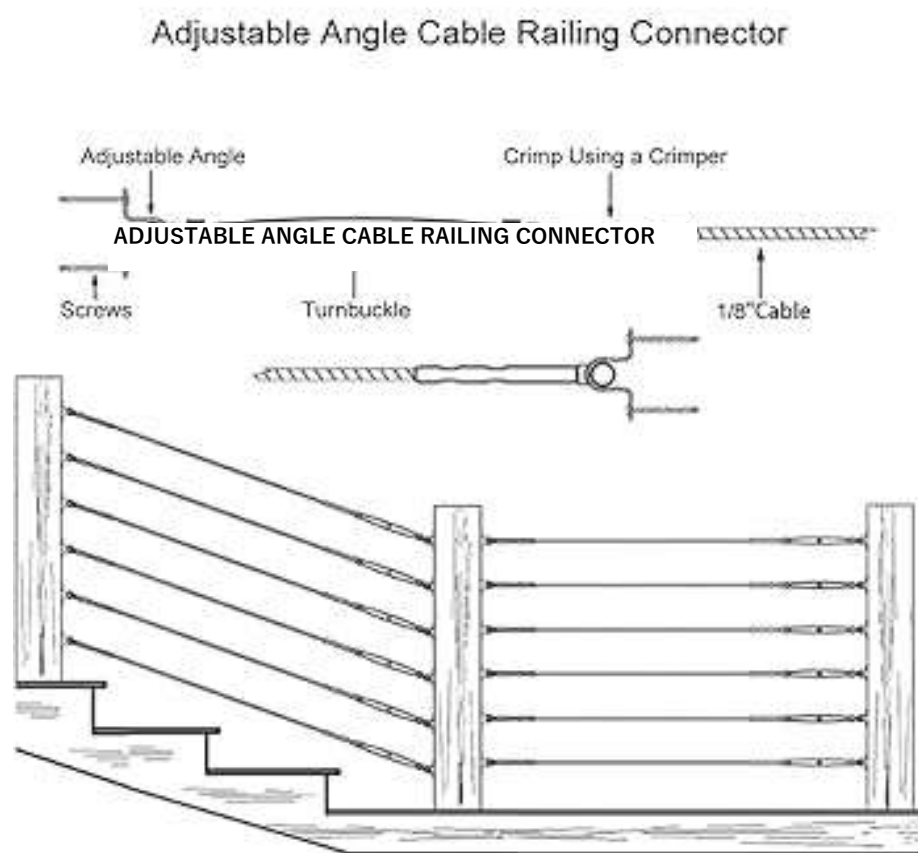
09/13



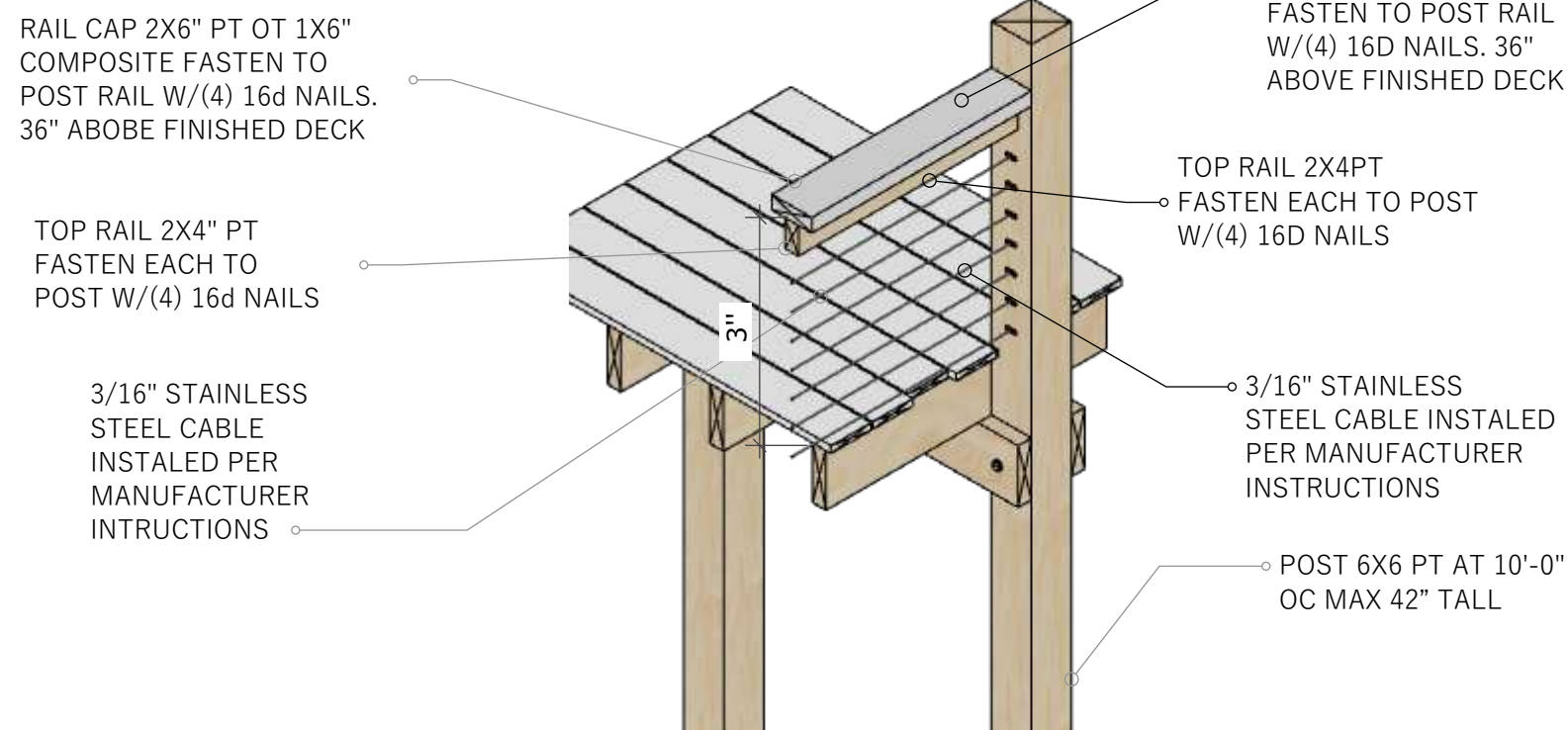
D4 CABLE RAILING WITH HANDRAIL
SCALE: NTS



D3 LEDGER BEAM TO POST CONNECT
SCALE: NTS



D5 CABLES DETAILS
SCALE: NTS



D4 CABLE RAILING WITH HANDRAIL
SCALE: NTS

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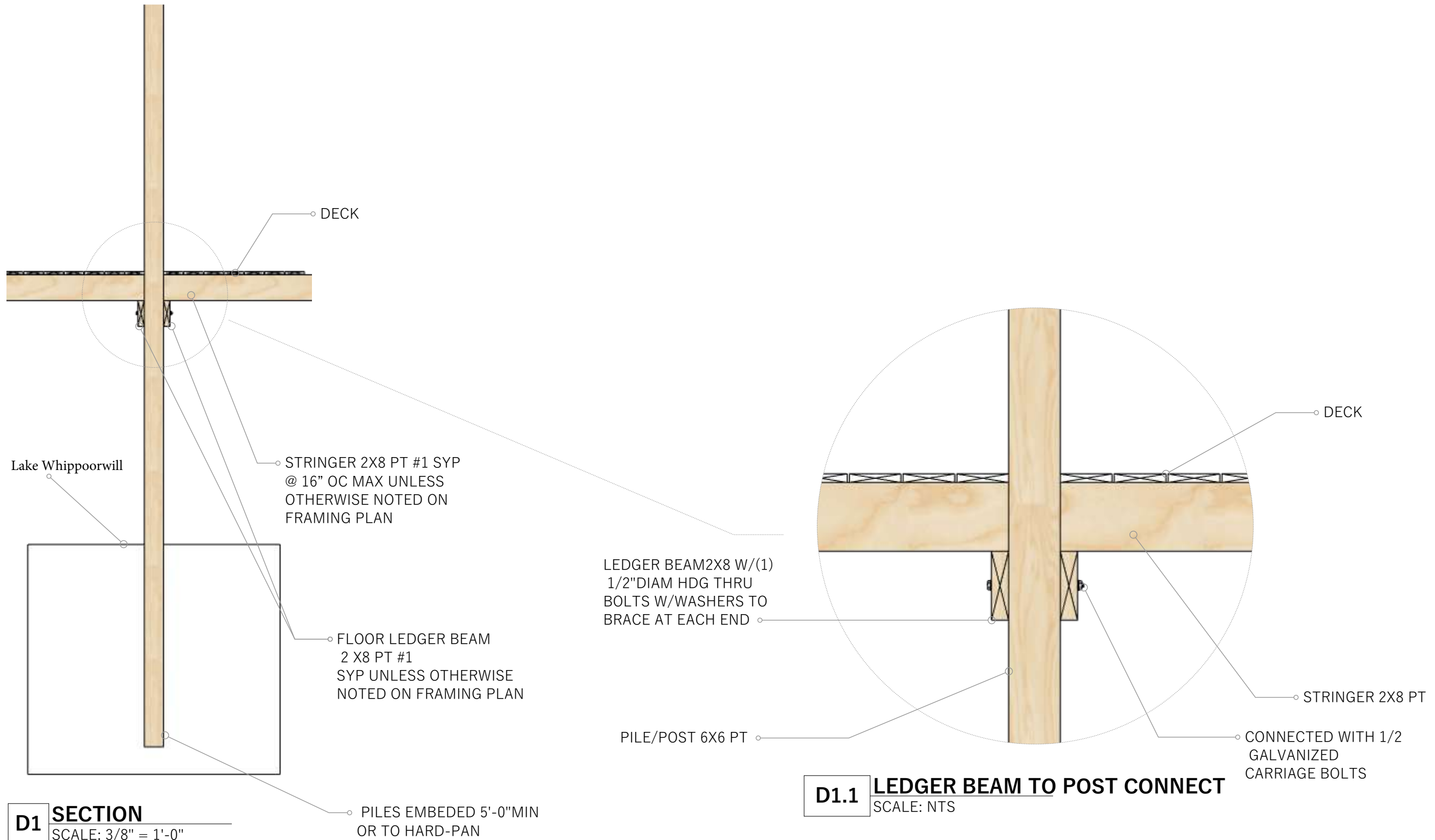
PLANS

RELEASE: PERMIT

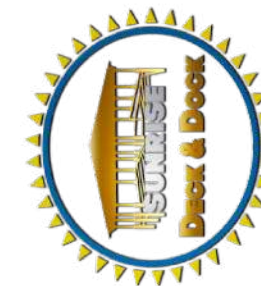
REVISION :

PROJECT:

10/13



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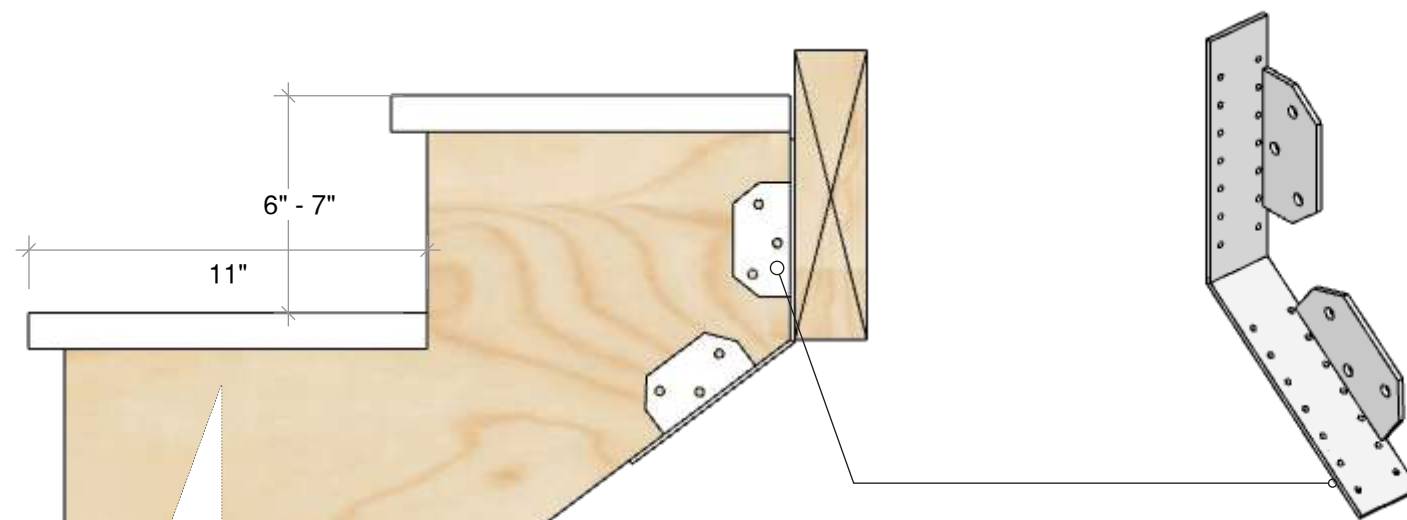
PLANS

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REVISION :

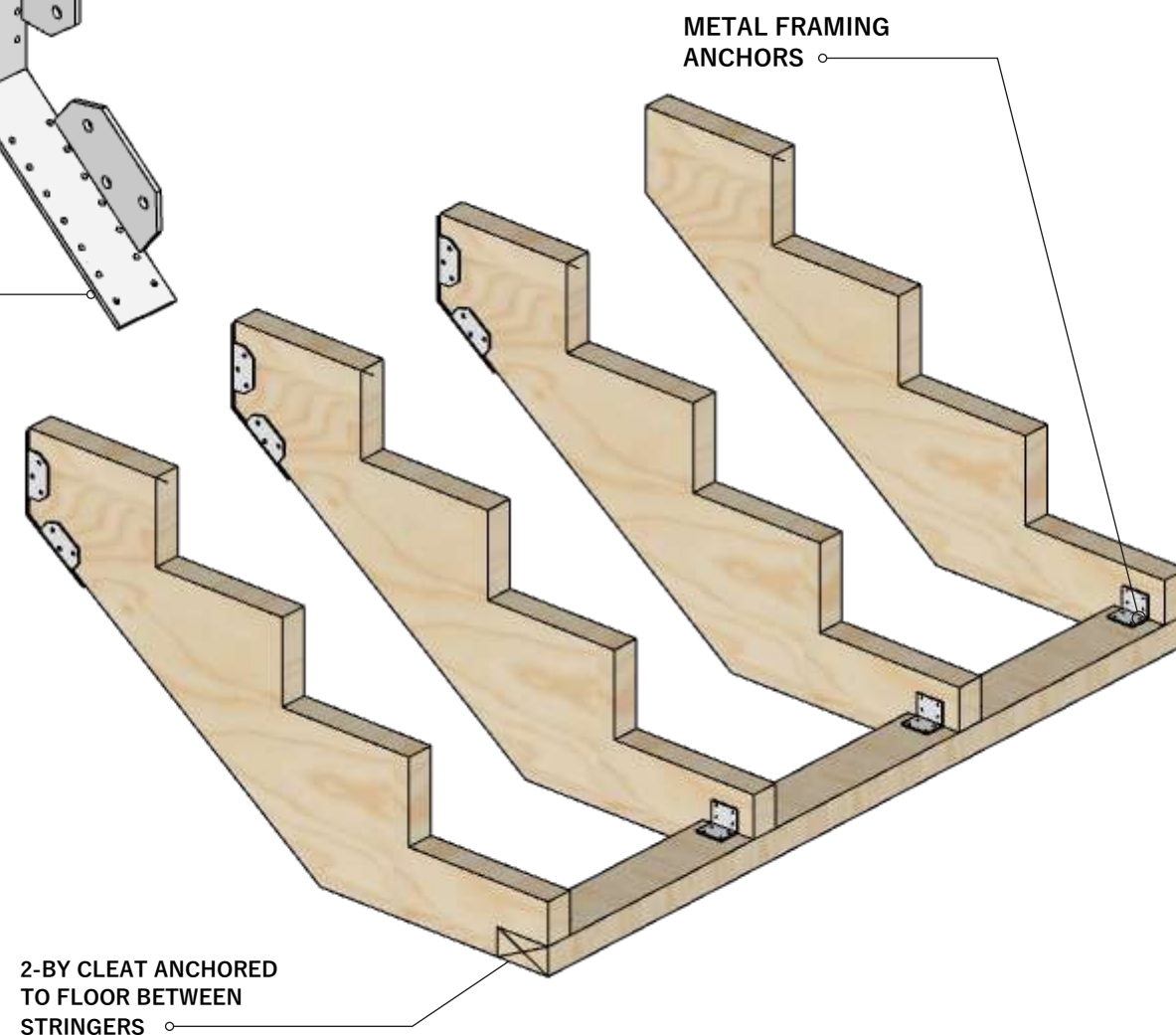
PROJECT:

11/13



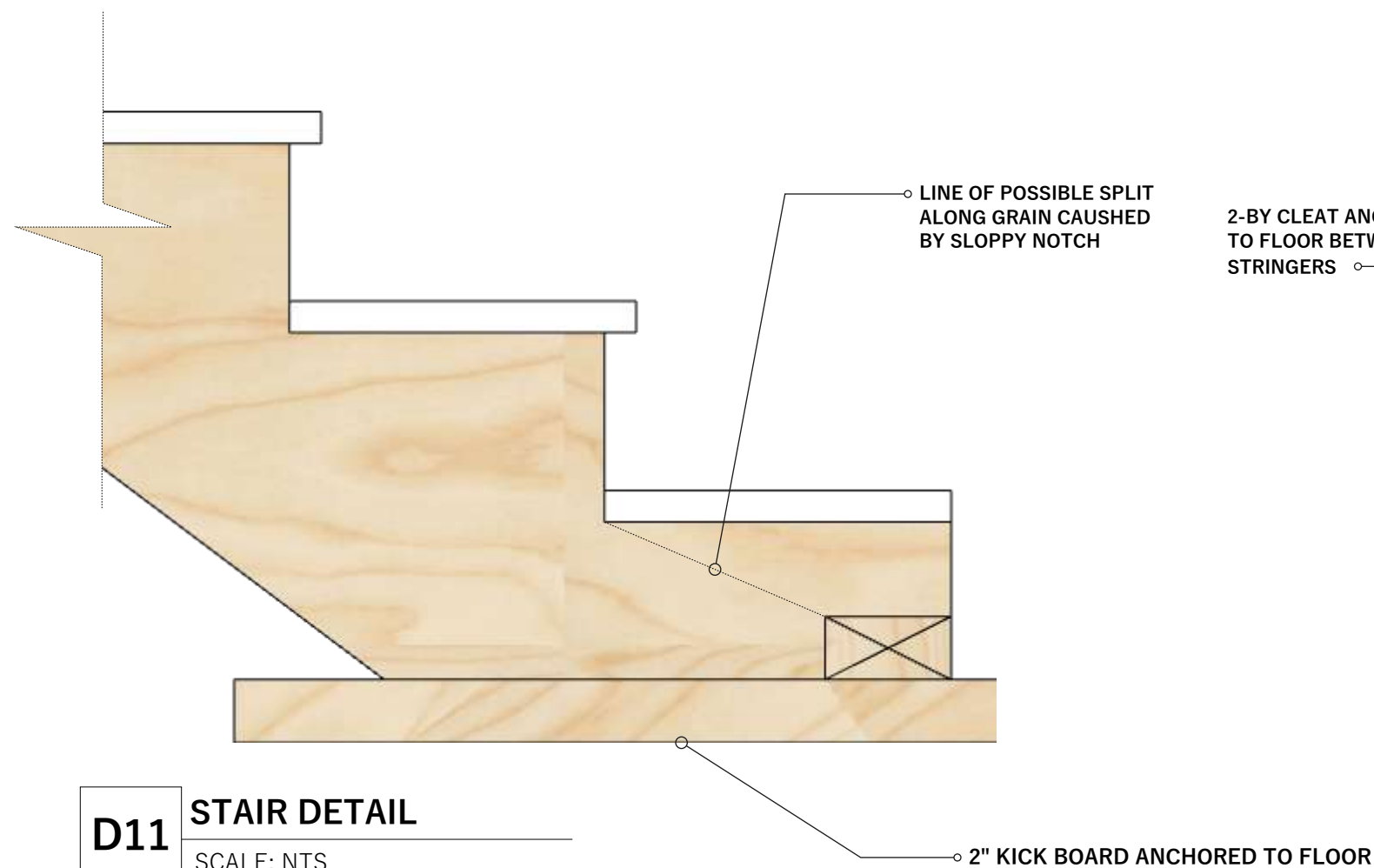
NOTES:
SIMPSON STRONG-TIE 2-STEPS 18-GAUGE ZMAX
GALVANIZED ADJUSTABLE STRINGER CONNECTOR OR
SIMILAR STRINGERS IN STAIRS 16\"/>

D11 STAIR DETAIL
SCALE: NTS



TO ANCHOR STAIR AT THE BOTTOM, STRINGERS ARE COMMONLY NOTCHET TO ACCEPT A 2-BY KICKBOARD ATTACHED TO THE FLOOR.
TO AVOID SPLITTING THE WOOD IN THE FIRST TREAD, NOTCHES SHOULD FIT SNUGLY OR BE SHIMMED TO ENSURE UNIFORM BEARING ALTERNATIVELY, USE METAL FRAMING CONNECTORS, SUCH AS A ANGLES FROM SIMPSON STRONG-TIE OR ADJUSTABLE AC OR JA FRAMING ANCHOR FROM MITEK, TO ATTACH STRINGER EITHER DIRECTLY TO THE FLOOR OR TO 2-BY CLEATS FASTENED TO THE FLOOR BETWEEN STRINGERS

D11 STAIR DETAIL
SCALE: NTS



D11 STAIR DETAIL
SCALE: NTS

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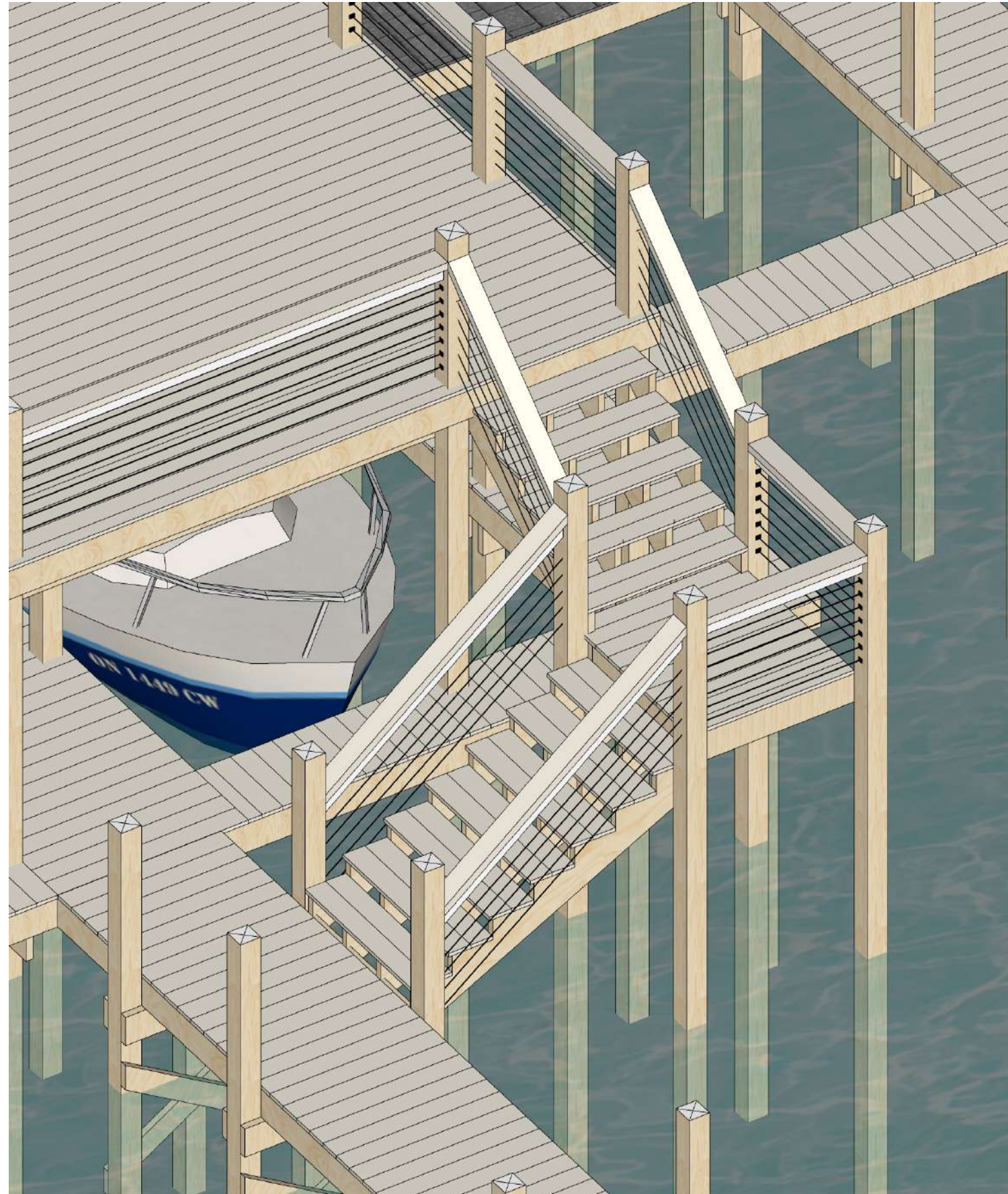
PLANS

RELEASE: PERMIT

REVISION :

PROJECT:

12/13



D6

STAIR DETAIL

SCALE: NTS



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PLANS

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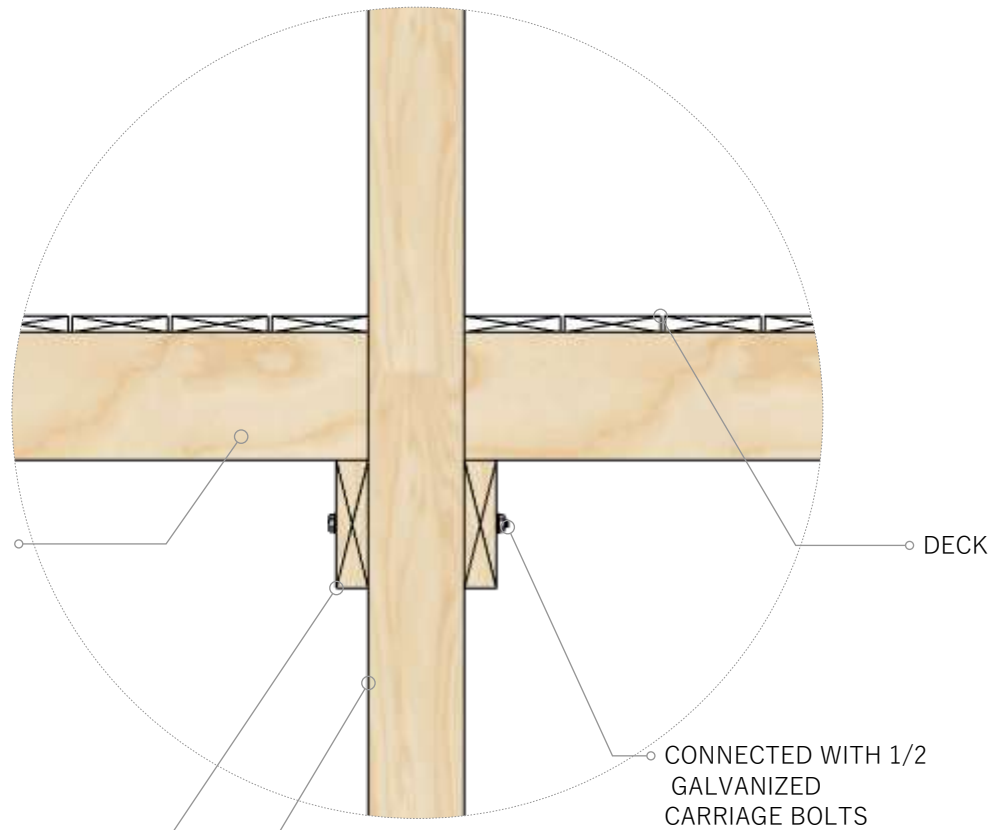
REVISION :

PROJECT:

STRINGER 2X8 PT
Fastening Method:
2x8" PRESSURE-TREATED
(PT) STRINGERS WILL BE
SECURED USING 3 1/2"
GALVANIZED SCREWS
OR 10D GALVANIZED
NAILS, WITH A MINIMUM
OF 2 SCREWS OR NAILS
AT EACH CONNECTION
POINT TO ENSURE A STRONG
AND DURABLE CONNECTION.

LEDGER BEAM 2X8 W/(1)
1/2" DIAM HDG THRU
BOLTS W/WASHERS TO
BRACE AT EACH END
REINFORCED WITH
GALVANIZED 10D NAILS
3"

PILE/POST 6X6 PT

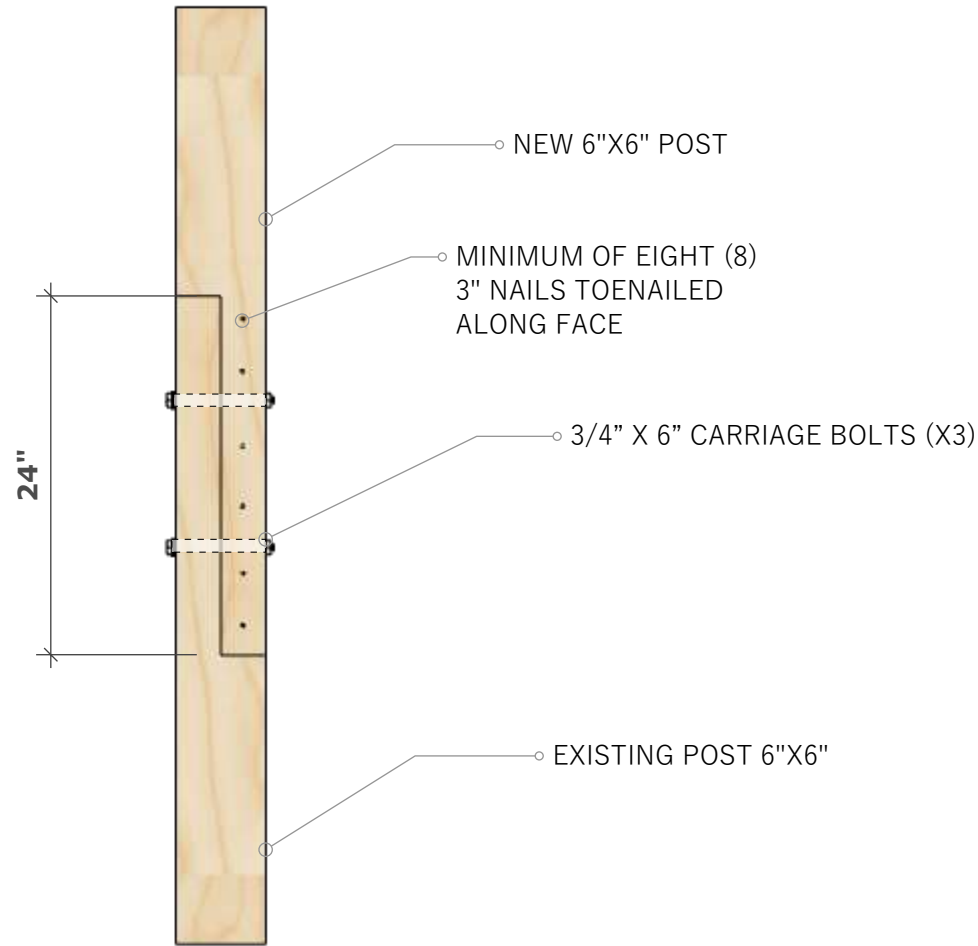
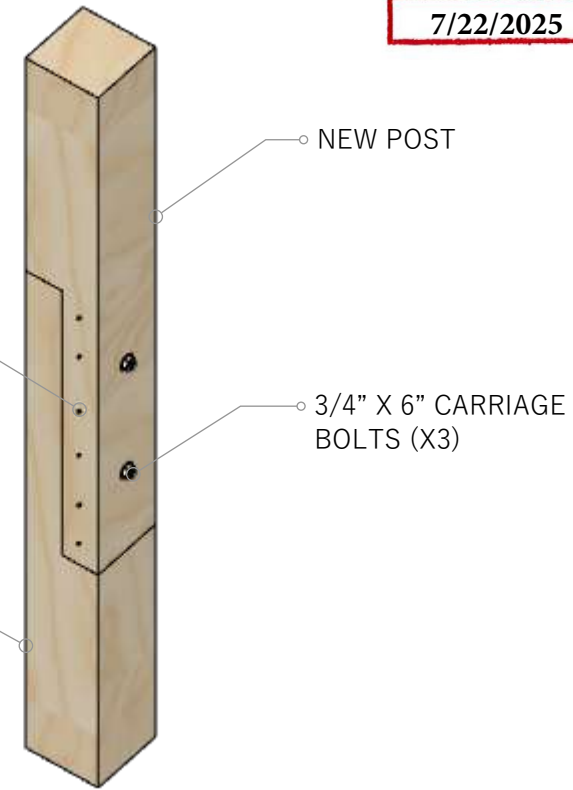


D1.1 LEDGER BEAM TO POST CONNECT
SCALE: NTS

MINIMUM OF EIGHT (8)
3" NAILS
TOENAILED ALONG FACE

EXISTING POST

D9.1 SPLICE DETAIL
SCALE: NTS



D9 SPLICE DETAIL
SCALE: NTS







APPLICATION TO CONSTRUCT A BOAT DOCK APPLICATION FOR VARIANCE

Pursuant to Orange County Code, Chapter 15, Article IX, Section 15-350(a-d)

****Process fee: \$409.00 (administrative) or \$3,924 (if public hearing required)****

Mail or Orange County Environmental Protection Division
Deliver To: WetlandPermitting@ocfl.net
3165 McCrory Place, Suite 200
Orlando, Florida 32803
(407) 836-1402

I Alexa Parada on behalf of Julio Calderin / Sandra Deniz (if applicable) pursuant to Orange County Code Chapter 15, Article IX, Section 15-350(a-d) am requesting a variance to the Orange County Dock Construction Ordinance for the property located at 12598 Kirby Smith Rd, Orlando FL 32832.

1. Identify the section(s) of this article that the applicant seeks a variance for and the extent of the requested variance:
"Section 15-342(a)(5) – Terminal platform size"
2. Describe the impact of the requested variance on the surface water and the environment:
The requested variance will have minimal to no impact on surface water and the surrounding environment. The proposed project will not affect wetlands, submerged aquatic vegetation, or other environmentally sensitive areas.
3. Explain the effect of the requested variance on any abutting or affected shoreline property owner(s):
The requested variance will not negatively impact any adjacent or shoreline property owners. The proposed improvements will remain fully within the applicant's property lines and will not obstruct neighboring views, access, or usage of adjacent properties. There will be no encroachment upon riparian lines or shared shoreline rights.
4. Describe how strict compliance with the section(s) of this article would impose a unique, unreasonable, and unintended hardship on the applicant:
Strict compliance with Section 15-342(a)(5) creates an unreasonable and unintended hardship, as the platform has already reached the maximum size allowed by code, limiting further functional improvements. The variance is necessary to allow reasonable use of the property and does not result from any action of the applicant.
5. Explain why the hardship is not self-imposed:
The hardship is not self-imposed. It results from code restrictions, not from any action by the applicant. The applicant is simply requesting to build a reasonable and functional dock on the property.

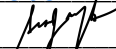
Notice to the Applicant:

The Environmental Protection Officer, the Environmental Protection Commission, or the Board may require the applicant to provide additional information necessary to carry out the purposes of this section pursuant to 15-350(c):

A variance application may receive an approval or an approval with conditions if granting the variance: (1) would not negatively impact the surface water or the environment or if there is a negative impact, sufficient mitigation is proposed pursuant to paragraph 15-350(d), if appropriate; (2) would not be contrary to the public interest; (3) where, owing to special conditions, compliance with the provisions herein would impose a unique and substantial hardship on the applicant; (4) where the environmental protection officer has determined that the hardship is not self-imposed on the applicant; and (5) would not be contrary to the intent and purpose of this article.

By signing and submitting this application form, I am applying for a variance to the Orange County Dock Construction Ordinance identified above, according to the supporting data and other incidental information filed with this application. I am familiar with the information contained in this application, and represent that such information is true, complete, and accurate. I understand this is an application and not a permit, and that work conducted prior to approval is a violation. I understand that this application and any permit issued pursuant thereto, does not relieve me of any obligation for obtaining any other required federal, state, or local permits prior to commencement of construction. I understand that knowingly making any false statements or representations in this application may be a violation of Article IX, Dock Construction Ordinance.

Name of Applicant: Alexa Parada

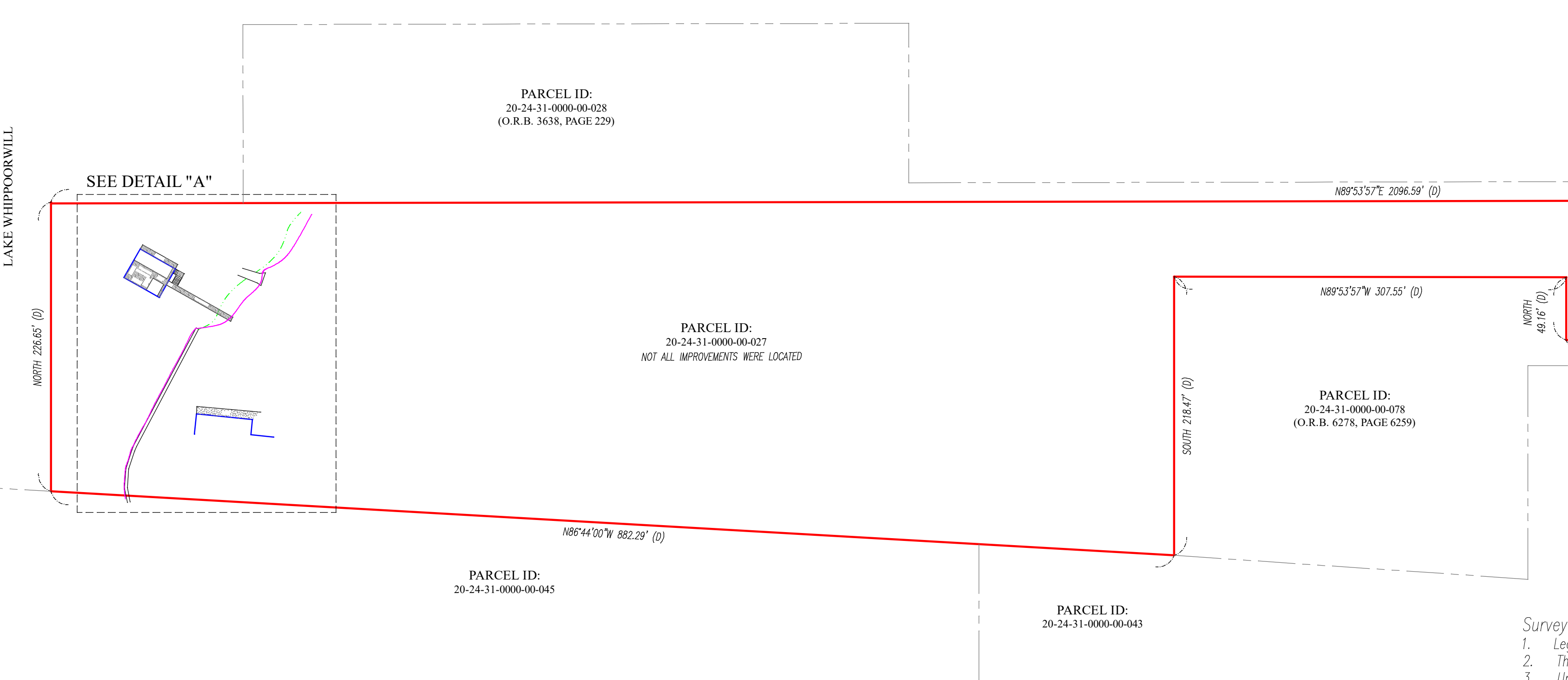
Signature of Applicant/Agent  Date: 06/26/2025

Corporate Title (if applicable): Agent - Sunrise Deck and Dock

[illegible]

Legal Description:

Commence at the Northeast corner of the Southeast $\frac{1}{4}$ of Section 20, Township 24 South, Range 31 East, Orange County, Florida; thence South, along the East line of said Section 20, 560.00 feet to the Point of Beginning; thence continue South 109.17 feet; thence South 89°53'57" West, 908.19 feet; thence North 49.16 feet; thence South 89°53'57" West, 307.55 feet; thence South 218.47 feet; thence North 86°44'00" West 882.29 feet; thence North 226.65 feet; thence North 89°53'57" East, 2096.59 feet to the Point of Beginning. Less the East 30 feet for Road Right-of-Way.



(D) = DEED	N&D = NAIL AND DISK	P.O.C. = POINT OF COMMENCEMENT	CONC. = CONCRETE
(M) = MEASURE	FND = FOUND	P.C. = POINT OF CURVATURE	W.D.F.C. = WOOD FENCE
(P) = PLAT	LS = LAND SURVEYOR	P.I. = POINT OF INTERCEPTION	PVC/CLC = VINYL FENCE
(A) = ASSUMED	PLS = PROFESSIONAL LAND SURVEYOR	P.T. = POINT OF TANGENCY	CLFC. = CHAIN LINK FENCE
(C) = COMPUTED	PSM = PROFESSIONAL LAND SURVEYOR	R.P. = RADIUS POINT	ALFC. = ALUMINUM FENCE
(BLK) = BLOCK	Δ = MAPPER	Δ = CENTRAL ANGLE	MT.FC. = METAL FENCE
COVD = COVERED	RLS = REGISTERED LAND SURVEYOR	LI = ARC LENGTH	S.M.H. = STORM SEWER MANHOLE
O.H.L. = OVERHEAD LINES	LB = LICENSES BUSINESS	CB = CHORD BEARING	LP. = LIGHTING POLE
C.L. = CENTER LINE	T.B.M. = TEMPORARY BENCH MARK	R = RADIUS	PP. = POWER POLE
DESC. = DESCRIPTION	O.R.B. = OFFICIAL RECORD BOOK	A/C = AIR CONDITIONER	WPP. = WOOD POWER POLE
(E) = ELEVATION	I.R.C. = IRON ROD AND CAP	W/H = WATER HEATER	
ID. = IDENTIFICATION	I.P.C. = IRON PIPE AND CAP	W/P = WATER PUMP	
R/W = RIGHT OF WAY	C.M. = CONCRETE MONUMENT	W/M = WATER METER	
U.E. = UTILITY EASEMENT	P.C.P. = PERMANENT CONTROL POINT	W/V = WATER VALVE	
D.E. = DRAINAGE EASEMENT	P.R.M. = PERMANENT REFERENCE	P/E = POOL EQUIPMENT	
D.U.E. = DRAINAGE UTILITY EASEMENT	MONUMENT	I/V = IRRIGATION VALVE	
E.P.E. = ELECTRIC POWER EASEMENT	P.O.L. = POINT ON LINE	C/O = CLEAN OUT	
SET I.R.C. = 1/2" I.R.C. LB 7615	P.R.C. = POINT OF REVERSE CURVATURE	FH. = FIRE HYDRANT	
I.P. = IRON PIPE	P.C.C. = POINT OF COMPOUND CURVATURE	F.B.E. = FORMBOARD ELEVATION	
I.R. = IRON ROD	W.P. = WITNESS POINT	F.F.E. = FINISH FLOOR ELEVATION	

A wooden dock extends from the shore into a body of water. The dock is made of light-colored wooden planks and has a railing. The water is dark blue with some white foam from waves. The sky is bright blue with scattered white clouds. In the background, there are trees and a distant shoreline.

Address: 12598 Kirby Smith Road, Orlando Florida 32832

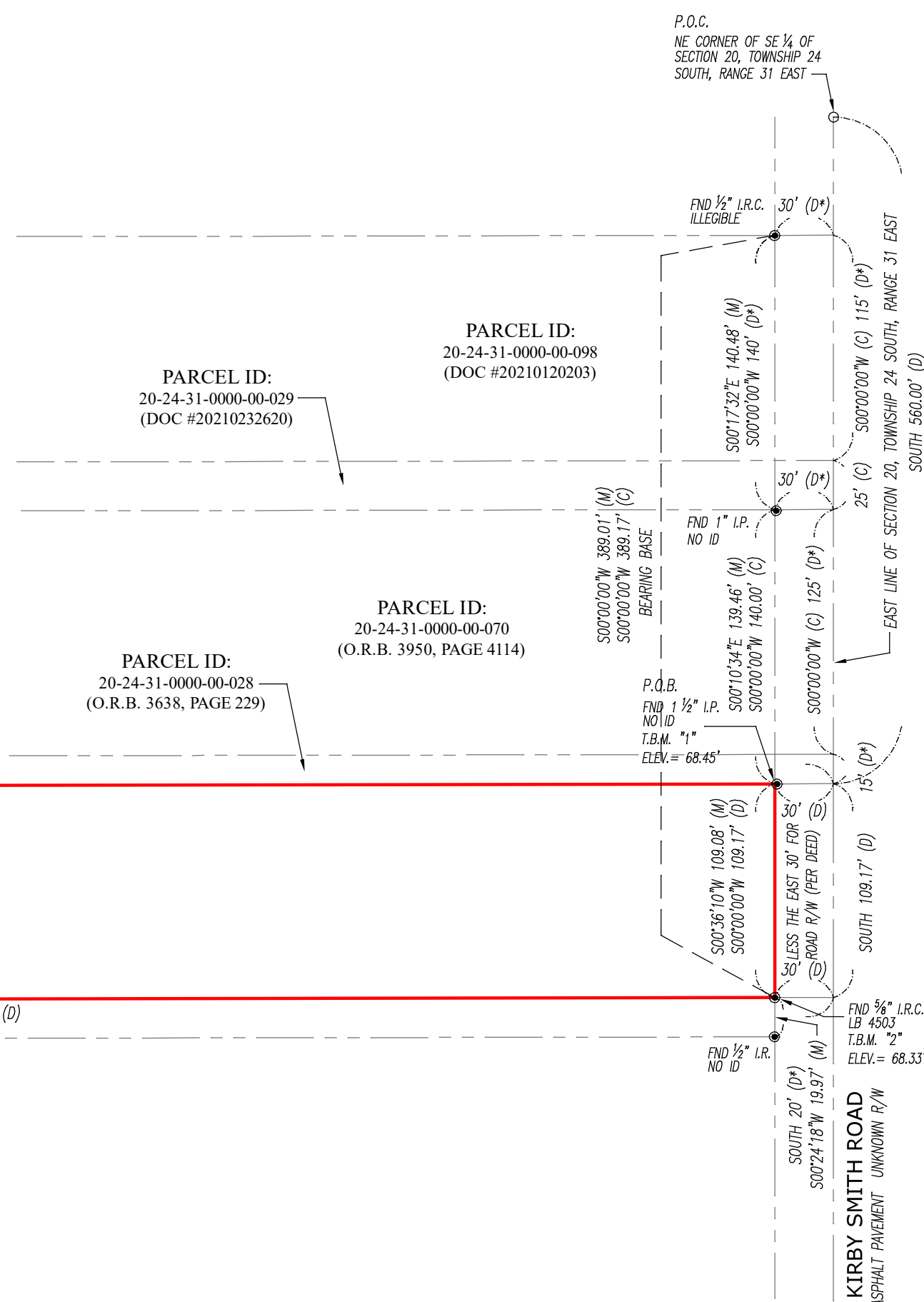
Certified to/ for the exclusive use of:
Sunrise Deck & Dock, LLC

Flood Insurance Rate Map:

Community Number: 120179 Panel: 0465
 Suffix "G" Flood Insurance Rate Map
 Dated June 20, 2018 Flood Zone: "X"
 Map ID: 12095C0465G

Basis of Bearing:

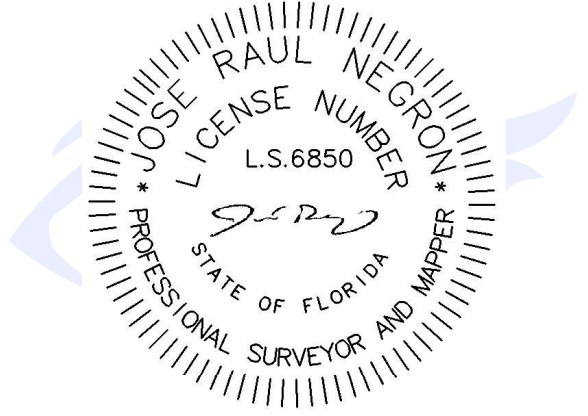
Bearings shown hereon are based on the EAST
Right-of-Way line of KIRBY SMITH ROAD,
DEPICTED WITH DASHED LINE IDENTIFIED AS
SUCH, being S 00°00'00" W (SOUTH),
CALCULATED FROM DEED.



Surveyor's Notes:

2. Legal Description provided by others
3. The lands shown hereon were not abstracted for easements or other recorded encumbrances not shown on the Plat.
4. Underground portions of footings, foundations or other improvements were not located.
5. Wall and/or fence ties—dimensions are not to be used to reconstruct boundary lines.
6. Only visible encroachments located.
7. No identification found on property corners unless otherwise shown.
8. Dimensions shown are Plat and Measured unless otherwise shown.
9. Fence ownership not determined.
10. This survey depicted here forms a closed geometric figure.
11. No underground improvements or visible installations have been located other than shown.
12. This survey is prepared for the exclusive use and benefit of the parties listed hereon liability to third parties may not be transferred or assigned.
13. This Survey is meant to be printed out in 24"x36".
14. This drawing may not be scaled due to electronic transfer.
15. This survey does not reflect or determine ownership.
16. Fence corners and building corners are witness monuments to obstructed corners, dimensions are as shown.
17. Subject to any dedication, limitations, restrictions, reservations, and/or easement of record no examination of Title made by Surveyor.
18. This Survey is not an ALTA/ACSM Land Title Survey.
19. This Survey was prepared without the benefit of a commitment for Title Insurance.
20. The flood data provided is for informational purposes only. The Surveyor makes no guarantees as to the accuracy of the information provided. The local F.E.M.A. Agency should be contacted for verification.
21. This Survey is intended for construction, permitting and design purposes only, exclusively for this, used by those to whom it is certified. This Survey is not to be used for any other purpose without the written consent of LEBRON GROUP SURVEYING AND MAPPING CORP. PHOTOCOPYING FORBIDDEN. COPYRIGHTED MATERIAL.
22. Boundary bases on existing monumentation and or occupation as found in field, other matters not known to this surveyor at time of survey may affect Boundary lines shown hereon.
23. Elevations (if) shown hereon are based on the Benchmark L1415021, with recorded Elevation 76.0341" (NAVD 88).
24. (*)= DENOTES a data or dimension as shown on neighboring Parcel Deed, O.R.B. and Page as shown on Survey.
25. THIS IS NOT A BOUNDARY SURVEY. NOT ALL IMPROVEMENTS WERE LOCATED PER CLIENT'S REQUEST.

THIS SURVEY MEETS THE "STANDARDS OF PRACTICE" AS REQUIRED BY CHAPTER 5J-17, BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES.



CODE:12598KIRBYSMITHROAD20250475 DATE: 04/03/2025
HECTOR LEBRON PSM #6634 JOSE R. NEGRON PSM#6850
Professional Surveyor and Mapper Professional Surveyor and Mapper
NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED RAISED
ELECTRONIC SEAL OF THIS FLORIDA LICENSED SURVEYOR AND MAPPER."

LEB/ON G/OU P
LAND SURVEYING AND MAPPING CORP.
 * BOUNDARY * TOPOGRAPHY * CONSTRUCTION SUPPORT
 * HYDROGRAPHY * GPS SERVICES

LICENSE BUSINESS #7615

2236 Winter Woods Blvd. S. 1000 Winter Park, FL 32792
 407.517-4393
 WebSite: WWW.LEBONGOUPE.COM

[illegible]

ADDRESS: 12598 KIRBY SMITH ROAD,
ORLANDO, FLORIDA 32832

DATE: 03/20/2025	
DRAWN: EJMR	
CHECKED: H.L.	
FIELD:	
JOB NO. 2025- 0475	SHEET 1



Environmental Protection Division

DOCK CONSTRUCTION PERMIT

Permit No.: BD-24-05-034

Date Issued: July 11, 2024

Date Expires: July 11, 2025

A Permit Authorizing:

The construction of a dock not to exceed the measurements identified on the Environmental Protection Division (EPD) stamp on the plans dated as received by EPD on May 9, 2024, and June 13, 2024.

EPD has evaluated the proposed activity and has made a finding that the request is consistent with Orange County Code, Chapter 15, Article IX, Construction of Dock Ordinance of Orange County and is subject to the permit conditions provided on the following pages:

Activity Location:

12598 Kirby Smith Road, Orlando, FL 32832

Parcel ID No.: 20-24-31-0000-00-027

Lake Name: Whippoorwill

Orange County Commission District: 4

Permittee(s) / Authorized Entity:

Sandra Deniz and Julio Calderin

c/o Alexa Parada

Sunrise Deck & Dock, LLC

Email: alexa@sunrisedeckanddock.com

Orange County Environmental Protection Division
3165 McCrory Place, Suite 200
Orlando, Florida 32803
407-836-1400/ Fax: 407-836-1499
www.OCEPD.org

As the permit holder, you are responsible for ensuring that all the conditions are met. If you are using a contractor to perform the activities authorized within the permit you are both responsible for meeting the conditions of your permit. If you fail to meet any of the conditions, you and/or your contractor may be subject to formal enforcement which may include administrative penalties.

Approval of this permit is subject to the following conditions:

General Conditions for Dock Construction Permits:

1. This permit shall become final and effective upon expiration of the 15-calendar day appeal period following the date of issuance, unless an appeal has been filed within this timeframe. For permits that required approval by the Board of County Commissioners (BCC), the permit shall become final and effective upon expiration of the 30-calendar day period following the date of rendition of the BCC's decision approving the permit, unless a petition for writ of certiorari or other legal challenge has been filed within this timeframe. Any appeal shall stay on the effective date of this permit until all appeals are resolved.
2. The operational phase of this permit is effective upon the completion of construction and continues in perpetuity.
3. Construction activities shall be completed in accordance with the approved site plans included with this permit. Construction shall not exceed the measurements identified on the stamp on the plans. The permitted work must be completed within one year of the date of issuance of the permit. Requests for permit extension must be submitted to the EPD prior to the expiration date.
4. The dock must be constructed within an access corridor pursuant to Chapter 15, Article VII, Section 15-255(1). No access corridor is allowed through any conservation area and/or easement.
5. The structure and its use shall not significantly impede navigability in the waterbody.
6. There shall be no dredging or filling associated with construction of the structure(s) authorized herein, other than that required for installation of structural pilings.
7. Dock structures will be maintained in a functional condition and will be repaired or removed if they become dilapidated to such an extent that they are no longer functional.
8. The dock must be constructed to meander around native trees to minimize impacts to natural resources. If any trees are removed (dead or alive), EPD must be notified immediately, and a restoration plan must be submitted to EPD for approval. At a minimum, the plan must consist of native wetland plants on 2-foot centers and native wetland trees on 10-foot centers. The ratio will be at least 4:1 ratio for any trees that are removed.
9. If any fallen trees are located within the proposed dock location, they may be cut in place and left within the wetland/conservation area. If trees must be removed, only hand removal is permitted; no heavy equipment or machinery may be utilized. Debris must be removed without displacing soil.
10. Any existing dock shall be completely removed before construction of the new dock can begin. Appropriate erosion and sediment control measures shall be installed around the work area and shall remain in place until all sediments have settled out of the water column. Pilings associated with the existing dock shall be cut at the substrate line or jetted out. All removed materials shall be disposed of at an appropriate offsite location. If the new dock is to be constructed in a different

location along the shoreline, the previously cleared access corridor shall be allowed to naturally revegetate for one year. Should the area not be re-established with appropriate native aquatic or wetland vegetation, invasive species removal and replanting may be required.

11. Unless expressly authorized by this permit and approved site plans, no floating platform structure has been approved with the issuance of this permit. If, at any time, any addition to the terminal platform (including, but not limited to, a floating platform) is proposed, the permittee(s) or future owners of the property may be required to apply for, and obtain, a new Dock Construction Permit.
12. All excess lumber, scrap wood, trash, garbage, and similar materials shall be removed from the project area immediately.
13. The permit holder and/or designated agent must submit a notice of completion to EPD within 30 days of completion of the construction or repair of the permitted structure so that a compliance check may be performed by EPD staff. The permittee(s) must provide as-built drawings on a final survey, signed and sealed by an appropriate professional licensed by the State of Florida, with the notice of completion. The signed and sealed as-built survey shall consist of an aerial view and a side view of the dock as well as any other information required to demonstrate compliance with the permit. The following items must be included on the survey:
 - a. North arrow;
 - b. Name of water body;
 - c. Reference point;
 - d. Setback distance from all portions of the boat dock;
 - e. The Normal High Water Elevation (NHWE);
 - f. Floor elevation (measured from the NHWE);
 - g. Roof elevation (measured from the top of the floor to the top of the roof);
 - h. Length of the dock below the NHWE;
 - i. Access walkway width;
 - j. Conservation easements, wetlands, buffers, berm and swale/drainage easements;
 - k. Floor elevation of the dock through wetlands;
 - l. Complete dimensions of the terminal platform; and
 - m. Elevation of the lake bottom at the waterward end of the terminal platform.
14. Upon completion of construction, the permittee(s) shall provide EPD with photographs of the dock to wetlandpermitting@ocfl.net from the following locations:
 - a. From the shoreline or backyard looking out towards the lake and dock;
 - b. View of the terminal platform from access walkway;
 - c. The end of the terminal platform looking back towards the shoreline;
 - d. View from each property corner looking towards the dock;
 - e. View of the access walkway with a tape measure in frame to show the height of the top of the access walkway deck over wetlands (if applicable); and,
 - f. View of the water depth at the waterward end of the terminal platform with a tape measure in frame that is flush with the top of the deck so a dimension is clearly visible.
15. At least 48-hours prior to commencement of activity authorized by this permit, the permittee(s) shall submit to EPD at wetlandpermitting@ocfl.net, a Construction Notice indicating the actual start date and expected completion date.
16. The permittee(s) shall notify EPD, in writing, within 30 days of any sale, conveyance, or other transfer of ownership or control of the real property subject to this permit. The permittee(s) shall remain liable for all permit conditions and corrective actions that may be required because of any permit violations which occur prior to the transfer of the permit by Orange County to a subsequent

owner. If applicable, no permit shall be transferred unless and until adequate financial assurance has been provided and approved by Orange County.

17. A copy of this permit, along with EPD stamped and approved drawings should be taken to the Orange County Zoning Division (OCZD) at 201 South Rosalind Avenue to obtain a building permit. For further information, please contact the OCZD at (407) 836-5525. After approval by OCZD, the certified site plans will need to be reviewed by the Orange County Building Safety Division (OCBSD) in order to obtain a building permit. For further information, please contact the OCBSD at (407) 836-5550.
18. If the property is within the Town of Windermere, a copy of this permit, along with EPD stamped and approved drawings should be taken to the Town of Windermere at 614 Main Street to obtain a building permit. For further information, please contact the Town of Windermere at 407-876-2563.
19. Some lakes experience a wide fluctuation of water levels. There may be times during the year that the dock authorized herein may not be usable to access the water.
20. Subject to the terms and conditions herein, the permittee(s) is hereby authorized to perform or cause to be performed, the impacts shown on the application and approved drawings, plans, and other documents attached hereto or on file with EPD. The permittee(s) binds itself and its successors to comply with the provisions and conditions of this permit. If EPD determines at any time that activities are not in accordance with the conditions of the permit, work shall cease, and the permit may be revoked immediately by the Environmental Protection Officer. Notice of the revocation shall be provided to the permit holder promptly thereafter.
21. Prior to construction, the permittee(s) shall clearly designate the limits of construction on-site. The permittee(s) shall advise the contractor that any work outside the limits of construction, including clearing, may be a violation of this permit.
22. The projected property lines, as identified on the stamped permit drawings, should be field staked by a professional land surveyor prior to the start of construction to be sure that the dock is constructed in the permitted location. Utilizing an adjacent boat dock or fence line is not sufficient for accurate placement of the dock and may result in the placement of the dock in the wrong location. It is extremely important to build the dock in the approved location. Upon completion of construction, if an unauthorized encroachment into the required minimum setback occurs, you may be required to relocate the dock.
23. The permittee(s) shall require the contractor to maintain a copy of this permit, complete with all approved drawings, plans, conditions, attachments, exhibits, and modifications in good condition at the construction site. The permittee(s) shall require the contractor to review the permit prior to commencement of the activity authorized by this permit. The complete permit shall be available upon request by Orange County staff.
24. Issuance of this permit does not warrant in any way that the permittee(s) has riparian or property rights to construct any structure permitted herein and any such construction is done at the sole risk of the permittee(s). If any part of the structure(s) permitted herein is determined by a final adjudication issued by a court of competent jurisdiction to encroach on or interfere with adjacent property owner's riparian or other property rights, the permittee(s) agrees to either obtain written consent or to remove the offending structure or encroachment within 60 days from the date of the adjudication. Failure to comply shall constitute a material breach of this permit and shall be grounds for its immediate revocation.

25. This permit does not release the permittee(s) from complying with all other federal, state, and local laws, ordinances, rules and regulations. Specifically, this permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee(s) or create in the permittee(s) any property right, or any interest in real property, nor does it authorize any entrance upon or activities upon property which is not owned or controlled by the permittee(s), or convey any rights or privileges other than those specified in the permit and Chapter 15, Article IX of the Orange County Code. If these permit conditions conflict with those of any other regulatory agency the permittee(s) shall comply with the most stringent conditions. The permittee(s) shall immediately notify EPD of any conflict between the conditions of this permit and any other permit or approval.
26. The permittee(s) is hereby advised that Section 253.77, Florida Statutes (FS), states that a person may not commence any excavation, construction, or other activity involving the use of sovereignty or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement or other form of consent authorizing the proposed use. Therefore, the permittee(s) is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.
27. Should any other regulatory agency require changes to the permitted activities, the permittee(s) shall provide written notification to EPD of the change prior to implementation so that a determination can be made whether a permit modification is required.
28. EPD shall have final construction plan approval to ensure that no modification has been made during the construction plan process.
29. The permittee(s) shall immediately notify EPD in writing of any previously submitted information that is later discovered to be inaccurate.
30. EPD staff, with proper identification, shall have permission to enter the site at any reasonable time to ensure conformity with the plans and specifications approved by the permit.
31. The permittee(s) shall hold and save the County harmless from all damages, claims or liabilities, which may arise by reason of the activities authorized by the permit.
32. All costs, including attorney's fees, incurred by the County in enforcing the terms and conditions of this permit shall be required to be paid by the permittee(s).
33. The permittee(s) agrees that any dispute arising from matters relating to this permit shall be governed by the laws of Florida and initiated only in Orange County.
34. Turbidity and sediments shall be controlled to prevent violations of water quality pursuant to Rules 62-302.500, 62-302.530(70) and 62-4.242 Florida Administrative Code. Best Management Practices, as specified in the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual, shall be installed and maintained at all locations where the possibility of transferring suspended solids into wetlands and/or surface waters may occur due to the permitted activity. If site-specific conditions require additional measures, then the permittee(s) shall implement them as necessary to prevent adverse impacts to wetlands and/or surface waters.
35. Pursuant to Section 125.022 FS, issuance of this permit by the County does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the County for issuance of the permit if the applicant fails to

obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

36. Pursuant to Section 125.022 FS, the applicant shall obtain all other applicable state or federal permits before commencement of the activity authorized herein.

If you should have any questions concerning this permit, please contact Caroline Dragiev at 407-429-9887 or Caroline.Dragiev@ocfl.net.

Project Manager:



Caroline Dragiev, Senior Environmental Specialist

Authorized for the Orange County Environmental Protection Division by:



for

Renée H. Parker, LEP, Environmental Protection Officer

CD/K~~KK~~/TMH: gfdjr

Enclosure(s): Construction Notice
 Approved Plans

c: Sandra Deniz and Julio Calderin, luis@soleilsurgical.com
Florida Department of Environmental Protection, DEP_CD@dept.state.fl.us
Elizabeth Johnson, EPD, Liz.Johnson@ocfl.net



Construction Notice

- ☐ BEGINNING OF CONSTRUCTION
- ☐ COMPLETION OF CONSTRUCTION

Mail to: Orange County Environmental Protection Division
3165 McCrory Place, Suite 200
Orlando, FL 32803
Or Fax to: 407-836-1499
Or E-Mail to: WetlandPermitting@ocfl.net

Permit Number and Name: BD-24-05-034, Calderin-Deniz - 12598 Kirby Smith Road

Permit Type: BOAT DOCK

Approximate Starting Date: _____

Approximate Completion Date: _____

Remarks or any additional information:

I certify I am the permittee / Authorized Entity of the above permit issued by the Orange County Environmental Protection Division and in accordance with the terms of such permit will ☐ begin or ☐ have completed the actual construction of the work described in the permit.

Signature of Permittee: _____

Printed name of Permittee: _____

Date: _____

Received
6/13/2024

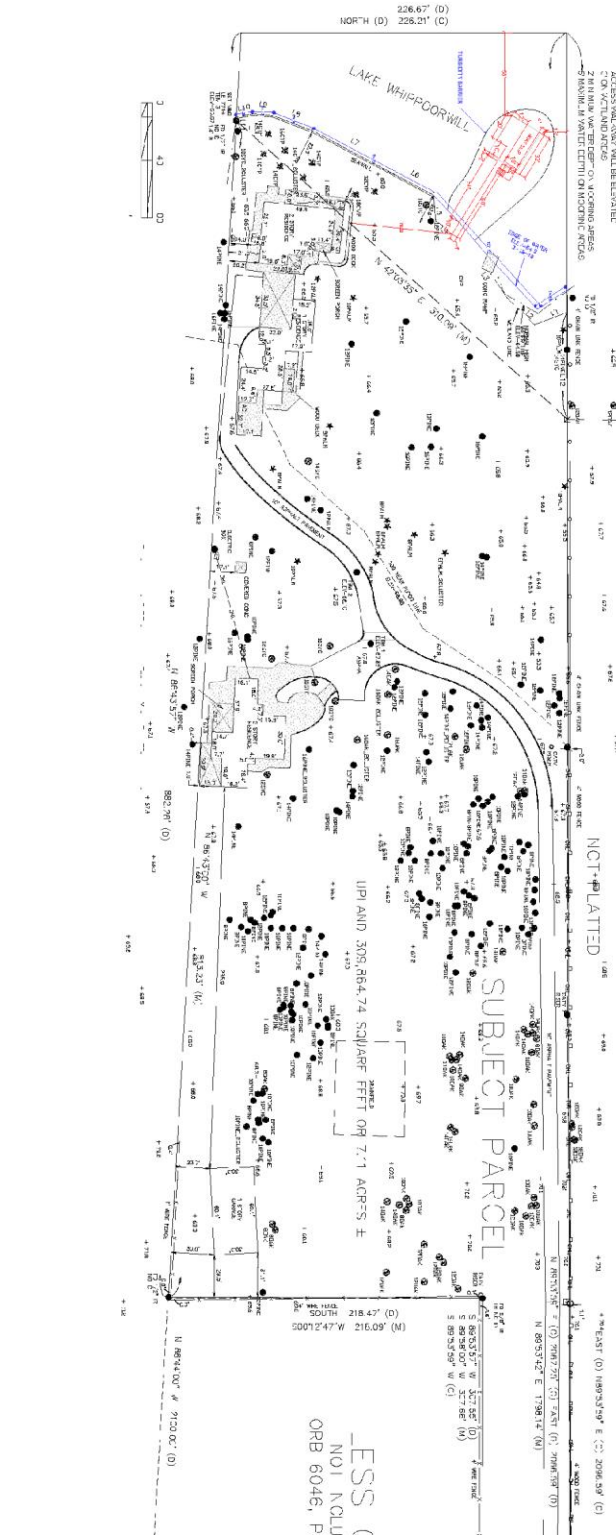
Approved By The
Orange County
Environmental Protection Division
Date: 6/14/2024
Reviewer: C. Dragley
BD-24-05-034

Minimum Side Setbacks (L) 15ft & (R) 15ft
Maximum Terminal Platform Size 1,000sqft
Maximum Water Depth at Terminal Platform 5 feet
Maximum Roof Height Above Floor 15 feet
Minimum Floor Height Above the NTHWE 1 foot
Maximum Width of Walkway 5 feet

"In addition to public regulations which Orange County enforces, be advised that there may be other private restrictions or approval requirements that will affect your ability to complete this project. Please review your deed restrictions and/or consult with your Homeowners Association or Architectural Review Board."



1 SCALE: 1" = 80'-0" SITE PLAN



JULIO CALDERIN
12598 KIRBY SMITH RD
ORLANDO FL, 32832

Sunrise Deck & Dock LLC
806 Verona St., Suite 2B,
Kissimmee FL 34741
WWW.SUNRISEDECKANDDOCK.CO
407-530-7796 | 407-530-7880



PLANS

RELEASE: PERMIT
REVISION: 04-APR-2024
PROJECT: 24-0422

01 / 02

DESIGN LOADS:

Ultimate Wind: 140 mph at 3 second gust (30 psf minimum)
Building Type: II Risk Factor: 1.0
Exposure Category: D (FBC 1609.4.3 & ASCE 7-22, Section 26.7.2)
Deck Live Load: 40 psf Dead Load: 10 psf
Roof Live Load: 20 psf Dead Load: 10 psf
Guardrails and handrails: 200 psf
Guardrail in fill components: 50psf Stairs: 40psf
Components and cladding, design wind pressures + 38psf/-38psf

TIMBER:

Design in accordance with the National Design specification for wood construction, with loading in accordance with the Florida Building Code. All graded structural lumber shall be pressure treated and meet the following minimum requirements:

CODE:

Design and Construction shall abide by the 2023 Florida Building Code, Residential 8th Edition.

Minimum bending stress = 1250 psi (No. 1 Dense So. Pine)
Young Modulus = 1600 ksi
Maximum of 15% moisture content
Contractor may use Southern Yellow Pine No. 1 or U.O.N. Lumber sizes shown are nominal sizes. Lumber shall be furnished in finished sizes meeting the requirement of the American Softwood Lumber Standard.

GALVANIZED BOLTS:

All bolts shall be galvanized be ASTM A572 grade 50 threaded round stock with a minimum yield stress of 50,000 psi.

STRUCTURAL ALUMINUM:

Conform to latest edition of Aluminum Association of Florida standard practice for aluminum design.

All aluminum shall be 6061-T6 (E= 10,000 ksi; Fy = 35 ksi)

CONCRETE:

Conform to ACI 318, latest edition and ACI 301 Compressive Ultimate Strength (Minimum at 28 days) shall be 3,000 psi
Exposed chamfer edges shall be ¾."

REINFORCING STEEL:

Conform to ACI 318 and 315, latest edition All reinforcement steel shall be ASTM A615 Grade 60. Min footing cover 3"

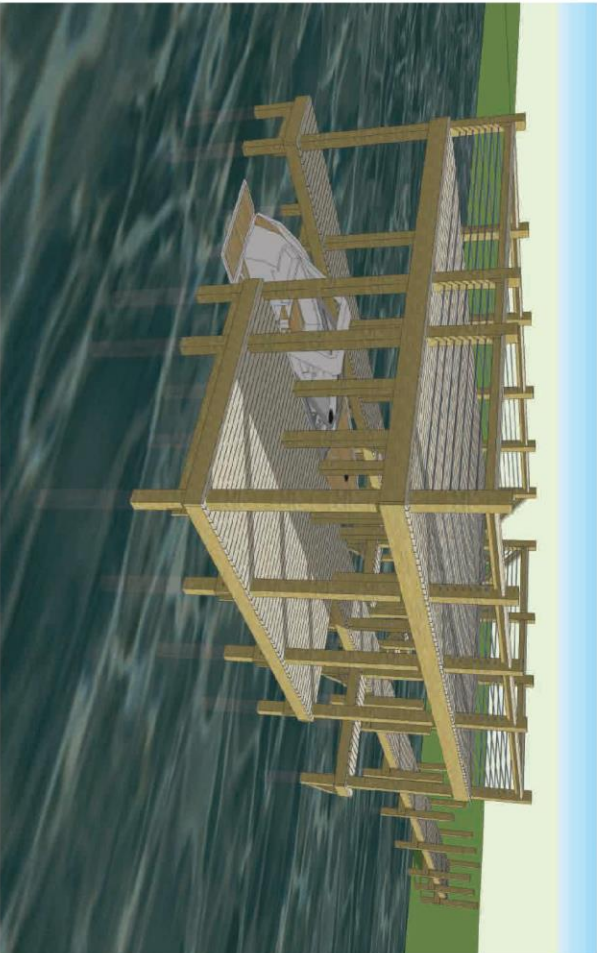
FOUNDATION:

The embedded depth of the posts and the layout and design of the posts is certified to accommodate all the stresses and loads from the dock.

Received
5/9/2024

Approved By The
Orange County
Environmental Protection Division
Date: 6/14/2024
Reviewer: C. Draglev
BD-24-05-034

"In addition to public regulations which Orange County enforces, be advised that there may be other private restrictions or approval requirements that will affect your ability to complete this project. Please review your deed restrictions and/or consult with your Homeowners Association or Architectural Review Board."



Minimum Side Setbacks (L) 15ft 4 (R) 15ft
Maximum Terminal Platform Size 1,000sqft
Maximum Water Depth at Terminal Platform 5 feet
Maximum Roof Height Above Floor 15 feet
Minimum Floor Height Above the NATIVE 1 foot
Minimum Floor Height Above Wetlands 3 feet
Maximum Width of Walkway 5 feet

PROJECT ADDRESS:
JULIO CALDERIN
12598 KIRBY SMITH RD.,
ORLANDO FL 32832

PROFESSIONAL ENGINEER:
WILLIAM F. STUBBINS, P.E.
FLORIDA PE #22150
(407) 920-3119

GENERAL CONTRACTOR:
DAVID MEAD
1627 REGAL OAK DR.,
KISSIMEE FL 34744
GC #CBC1263841

JULIO CALDERIN
12598 KIRBY SMITH RD
ORLANDO FL, 32832

Sunrise Deck & Dock LLC
806 Verona St., Suite 2B,
Kissimmee FL 34741
WWW.SUNRISEDECKANDDOCK.COM
407-530-7796 | 407-530-7880



COVER PAGE
RELEASE: PERMIT
REVISION: 04-APR-2024
PROJECT: 24-0422

01/08

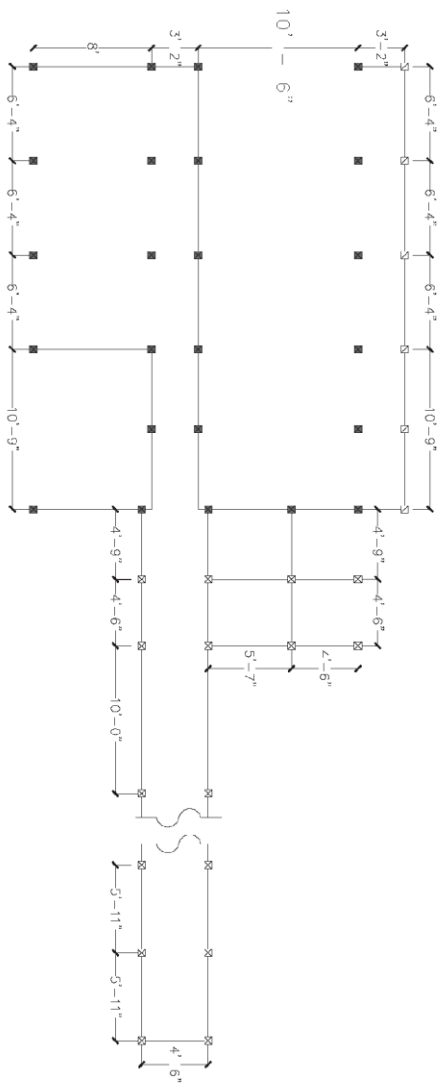
Received
5/9/2024

Approved By The
Orange County
Environmental Protection Division
Date: 6/14/2024
Reviewer: C. Dragiev
BD-24-05-034

Minimum Site Setbacks (A) 15ft (B) 15ft
Maximum Terminal Platform Size 1,000sqft
Maximum Weir Depth at Terminal Platform 6 feet
Maximum Roof Height Above Floor 15 feet
Minimum Floor Height Above the NTHME 1 foot
Minimum Floor Height Above Wetlands 3 feet
Maximum Width of Walkway 5 feet

"In addition to public regulations which Orange County enforces, be advised that there may be other private restrictions or approval requirements that will affect your ability to complete this project. Please review your deed restrictions and/or consult with your Homeowners Association or Architectural Review Board."

PILES 6X6 PT @ 10'-0" OC MAX
5' 0" MIN INTO THE GROUND



- ROOF POSTS
- 42" POSTS
- POST UNDER DOCK

1 SCALE: 1/8" = 1'-0" PILING LAYOUT

Sunrise Deck & Dock LLC
806 Verona St., Suite 2B,
Kissimmee FL 34741
WWW.SUNRISEDECKANDDOCK.COM
407-530-7796 | 407-530-7880



JULIO CALDERIN
12598 KIRBY SMITH RD
ORLANDO FL, 32832

PLANS
RELEASE: PERMIT
REVISION: 04-APR-2024
PROJECT: 24-0422

02/08



Approved By The
Orange County
Environmental Protection Division
Date: 6/14/2024
Reviewer: C. Draglev
BD-24-05-034

TO ANCHOR STRINGER FROM LANDING
TO SECOND FLOOR WITH SIMPSON
STRONG-TIE 2-STEP 18-GAUGE ZMAX
GALVANIZED ADJUSTABLE STRINGER
CONNECTOR OR SIMILAR, TO
2" X 8" P. I. LUMBER

CABLE RAILING WITH
HANDRAIL AT BOTH
SIDES OF STAIRS

TO ANCHOR STAIRS AT THE
BOTTOM, STRINGERS ARE
COMMONLY NOTCHED TO
ACCEPT A 2-BY KICKBOARD
ATTACHED TO THE FLOOR, TO
AVOID SPLITTING THE WOOD IN
THE FIRST TREAD, NOTCHES
SHOULD FIT SNUGLY OR BE
SHIMMED TO ENSURE UNIFORM
BEARING ALTERNATIVELY, USE
METAL FRAMING CONNECTORS,
SUCH AS ANGLES FROM
SIMPSON STRONG-TIE OR
ADJUSTABLE AC OR JA
FRAMING ANCHORS FROM
MITER, TO ATTACH STRINGERS
EITHER DIRECTLY TO THE FLOOR
OR TO 2-BY CLEATS FASTENED
TO THE FLOOR BETWEEN
STRINGERS

DOUBLE DECK LINE

STAIRS UP 5 RISERS
@ 7" EA 3/4" TREAD
11" DEEP

PLATFORM 4"X4"-5"
FOR STAIRS

STAIRS UP 7 RISERS
@ 7" EA 3/4" TREAD
11" DEEP

COMPOSITE DECKING 5 1/4"X1"
DECKING SPACING 1/4"

CANTILEVER CATWALK

16" O.C.
(TYP)

- ROOF POSTS
- 42" POSTS
- POST UNDER DOCK

2 SCALE: 1/8" = 1'-0" FRAMING LAYOUT

Minimum Side Seabacks (1) 15ft & (2) 15ft
Minimum Terminal Platform Size 1,000sqft
Maximum Water Depth at Terminal Platform 6 feet
Maximum Roof Height Above Floor 15 feet
Minimum Floor Height Above the N/W/E 1 foot
Minimum Floor Height Above Waterline 3 feet
Maximum Width of Walkway 5 feet

*In addition to public regulations which Orange County
enforces, be advised that there may be other private
restrictions or approval requirements that will affect
your ability to complete this project. Please review
your deed restrictions and/or consult with your
Homeowners Association or Architectural Review Board.*



Sunrise Deck & Dock LLC
806 Verona St., Suite 2B,
Kissimmee FL 34741
WWW.SUNRISEDECKANDDOCK.COM
407-530-7796 | 407-530-7880

JULIO CALDERIN
12598 KIRBY SMITH RD
ORLANDO FL, 32832

PLANS

RELEASE: PERMIT
REVISION: 04 APR 2024
PROJECT: 24-0422

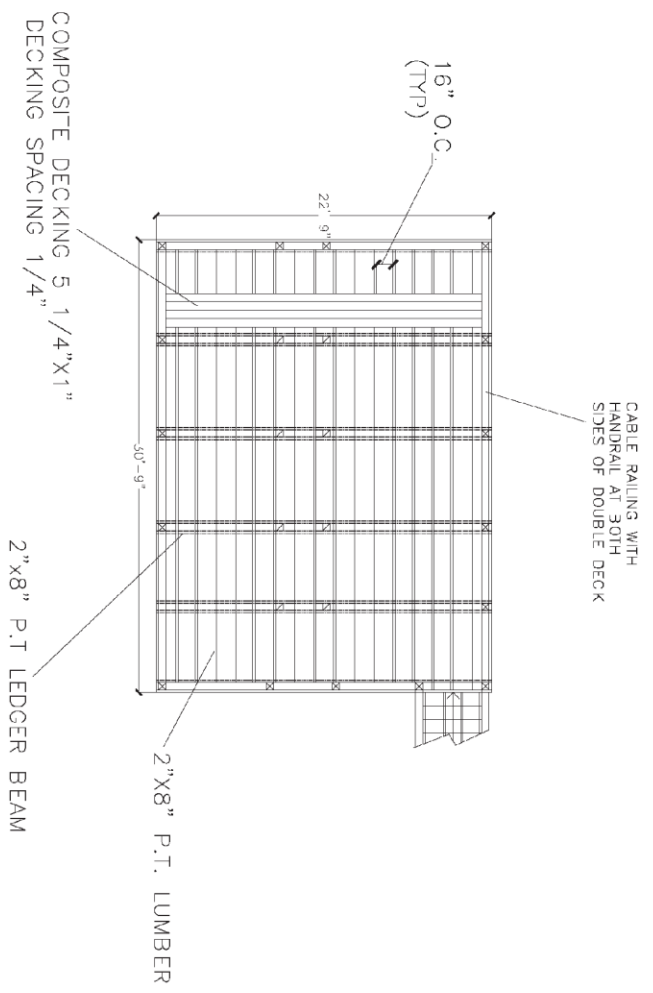
03/08

received
5/9/2024

Approved By the
Orange County
Environmental Protection Division
Date: 6/14/2024
Reviewer: C. Dragiev
BD-24-05-034

Minimum Side Setbacks (L) 15ft & (R) 15ft
Maximum Terminal Platform Size 1,000sqft
Maximum Water Depth at Terminal Platform 5 feet
Maximum Roof Height Above Floor 15 feet
Minimum Floor Height Above the NTHW 1 foot
Minimum Floor Height Above Wetlands 3 feet
Maximum Width of Walkway 5 feet

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- 42" POSTS
 - POST UNDER DOUBLE DECK
- 1 SCALE: 1/8" = 1'-0" DOUBLE DECK

PLANS

RELEASE: PERMIT

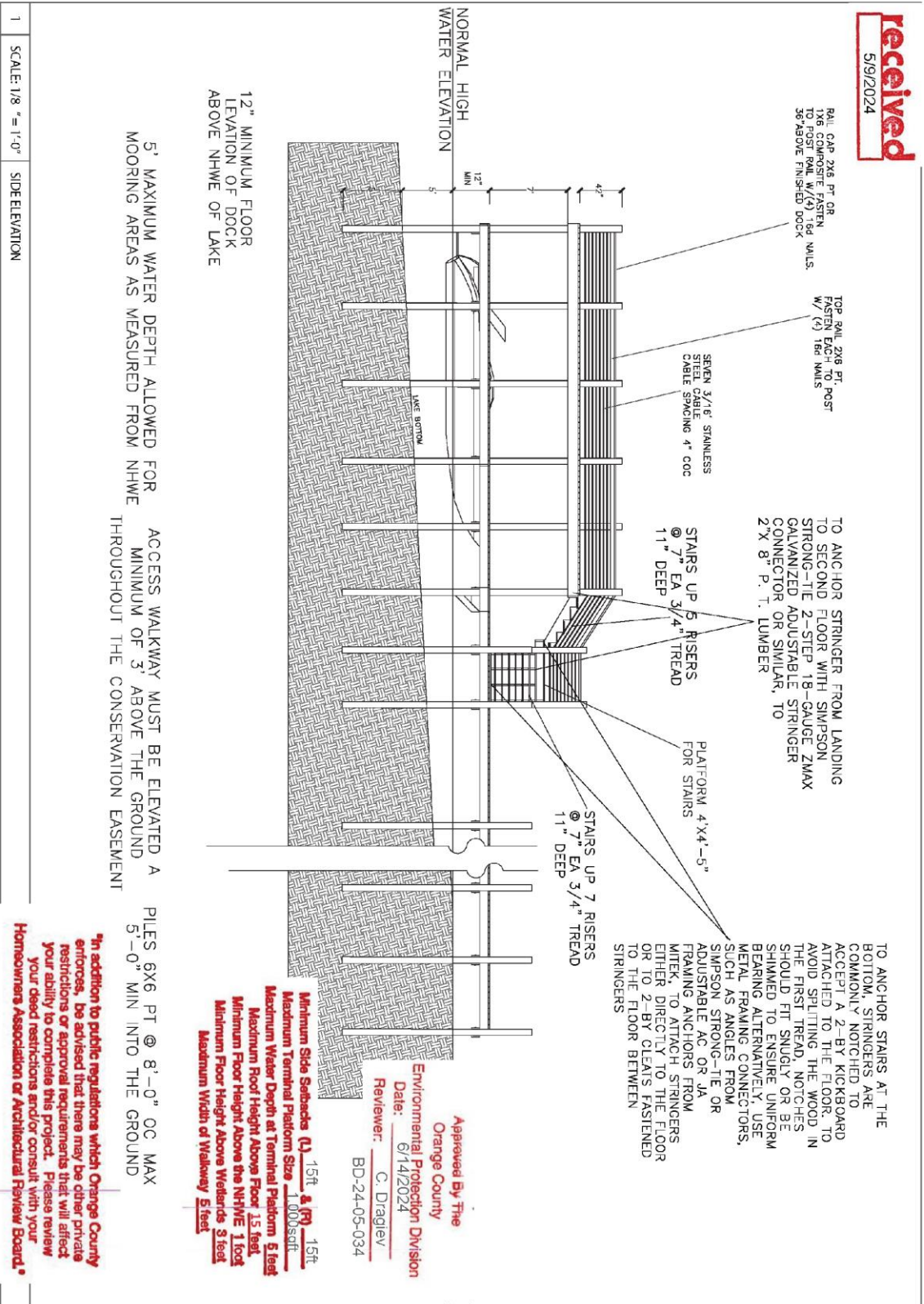
REVISION: 04-APR-2024

PROJECT: 24-0422

04/08

JULIO CALDERIN
12598 KIRBY SMITH RD
ORLANDO FL, 32832

Sunrise Deck & Dock LLC
806 Verona St., Suite 2B,
Kissimmee FL 34741
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407-530-7796 | 407-530-7880



1	SCALE: 1/8" = 1'-0"	SIDE ELEVATION
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05 / 08

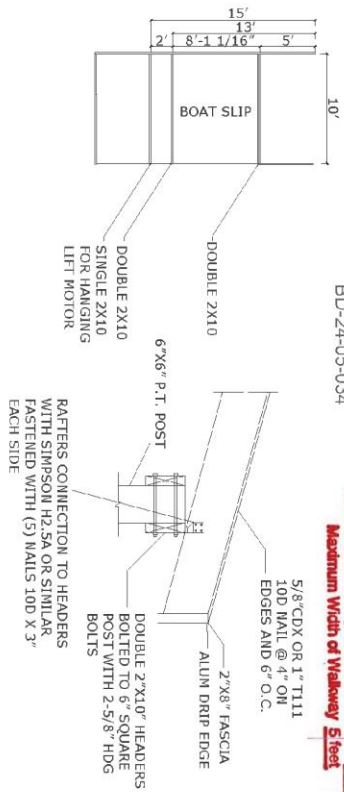
ELEVATION
RELEASE: PERMIT
REVISION: 04-APR-2024
PROJECT: 24-0422





Approved By The
Orange County
Environmental Protection Division
Date: 6/14/2024
Reviewer: C. Dragiev
BD-24-05-034

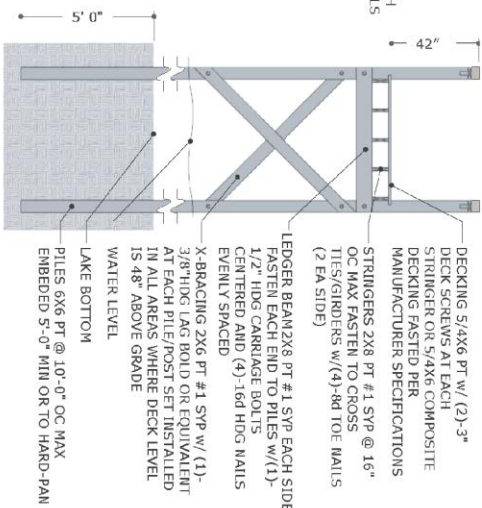
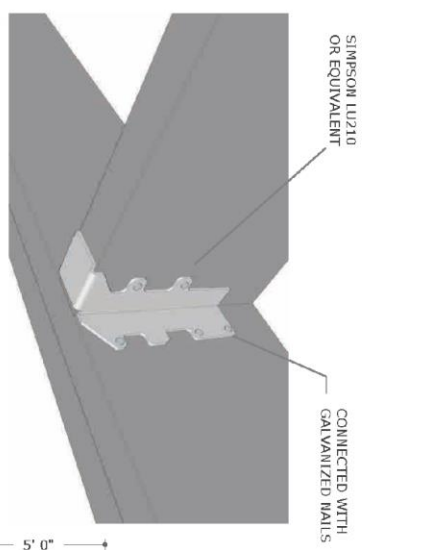
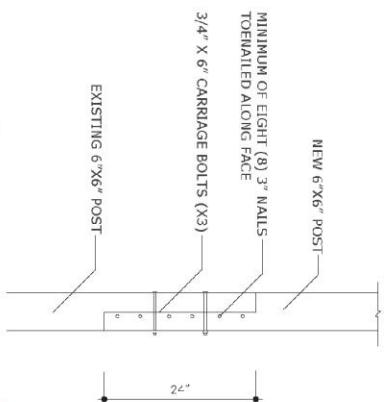
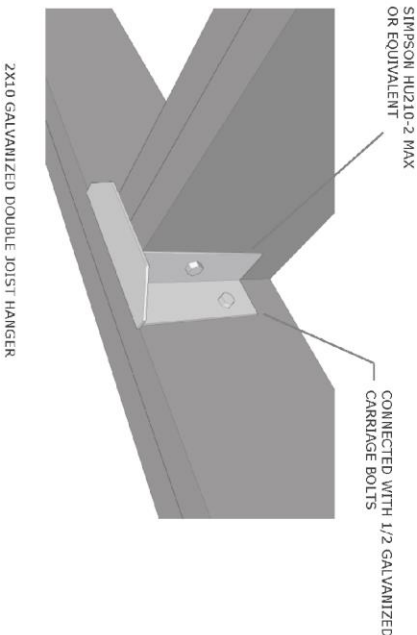
Minimum Side Seabeaks (1) 15ft & (2) 15ft
Maximum Terminal Platform Size 1,000 sq ft
Maximum Water Depth at Terminal Platform 5 feet
Maximum Floor Height Above Floor 1.5 feet
Minimum Floor Height Above the NYWE 1 foot
Minimum Floor Height Above Wetlands 3 feet
Maximum Width of Wetway 5 feet



D1 BOAT LIFT FRAMING
SCALE: 1/32"=1'-0"

D2 EAVE DETAIL
SCALE: 3/4"=1'-0"

D3 LIFT HANGING DETAIL
SCALE: NTS



D4 SPLICE DETAIL
SCALE: 3/4"=1'-0"

D5 HANGING LIFT MOTOR DETAIL
SCALE: NTS

D6 WALKWAY SECTION
SCALE: 1/4"=1'-0"

In addition to public regulations which Orange County enforces, be advised that there may be other private restrictions or approval requirements that will affect your ability to complete this project. Please review your deed restrictions and/or consult with your Homeowners Association or Architectural Review Board.

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WWW.SUNRISEDECKANDDOCK.COM
407-530-7796 | 407-530-7880



JULIO CALDERIN
12598 KIRBY SMITH RD
ORLANDO FL, 32832

DETAILS
RELEASE: PERMIT
REVISION: 04 APR - 2024
PROJECT: 24-0422

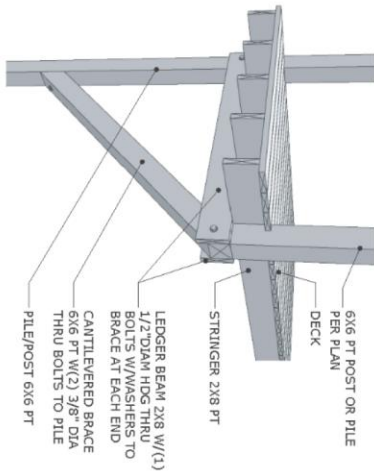
06 / 08

Received
5/9/2024

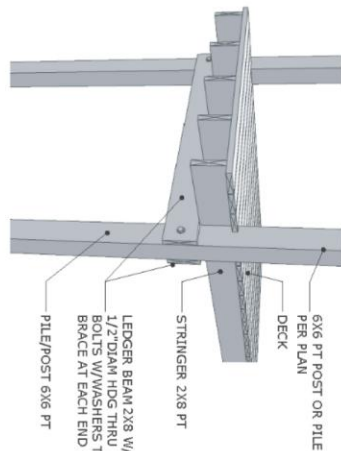
Approved By The
Orange County
Environmental Protection Division
Date: 6/14/2024
Reviewer: C. Draglev
BD-24-05-034

Minimum Side Seabacks (1) 15ft 8 (7) 15ft
Maximum Terminal Platform Size 1,000sqft
Maximum Water Depth at Terminal Platform 5 feet
Maximum Roof Height Above Floor 15 feet
Minimum Floor Height Above the N-HWE 1 foot
Minimum Floor Height Above Wetlands 3 feet
Maximum Width of Walkway 5 feet

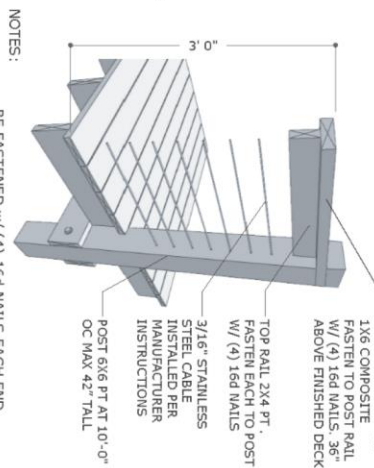
"In addition to public regulations which Orange County enforces, be advised that there may be other private restrictions or approval requirements that will affect your ability to complete this project. Please review your deed restrictions and/or consult with your Homeowners Association or Architectural Review Board."



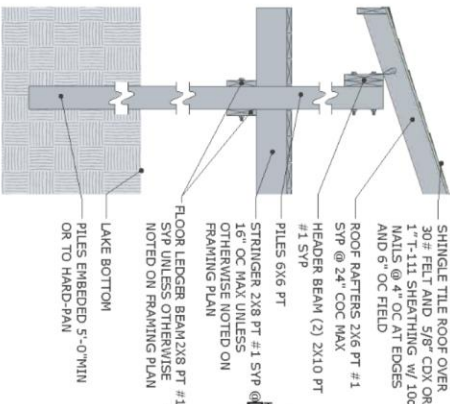
D7 CANTILEVER CONNECTION
SCALE: 1/2"=1'-0"



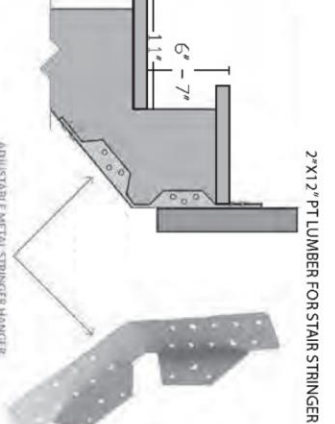
D8 LEDGER BEAM TO POST CONNECT
SCALE: 1"=1'-0"



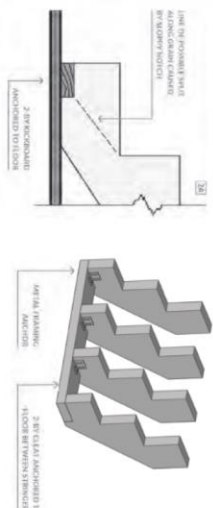
NOTES:
BE FASTENED W/ (4)-16d NAILS EACH END
N SHALL NOT EXCEED 10'-0"
S SHALL BE 4" OC
RAILING MUST BE 36" IN HEIGHT
BREAK STRENGTH=3,700LBS, WORKING LOAD LIMIT=740LBS
CABLE RAILING WITH HANDRAIL
SCALE: 1"=3'-0"



D10 SECTION
SCALE: 1/2"=1'-0"



D11 STAIR DETAILS
SCALE: 1\"/>



D12 STAIR DETAILS
SCALE: 1\"/>

TO ANCHOR STAIRS AT THE BOTTOM, STRINGERS ARE COMMONLY NOTCHED TO ACCEPT A 2-BY KICKBOARD ATTACHED TO THE FLOOR. TO AVOID SPLITTING THE WOOD IN THE FIRST TREAD, NOTCHES SHOULD FIT SINGLY OR BE SHIMMED TO ENSURE UNIFORM BEARING. ALTERNATIVELY, USE METAL FRAMING CONNECTORS, SUCH AS A ANGLES FROM SIMPSON STRONG-TIE OR ADJUSTABLE AC OR JA FRAMING ANCHORS FROM MITEK, TO ATTACH STRINGERS EITHER DIRECTLY TO THE FLOOR OR TO 2-BY CLEATS FASTENED TO THE FLOOR BETWEEN STRINGERS.

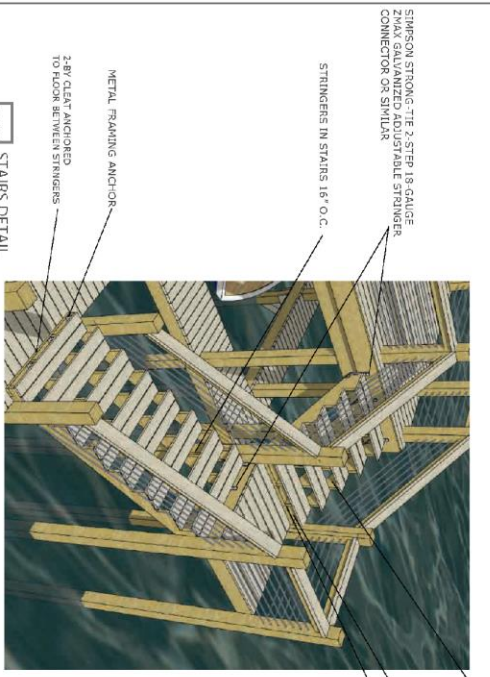
JULIO CALDERIN
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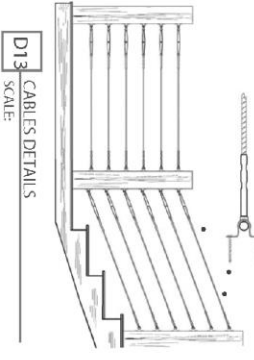
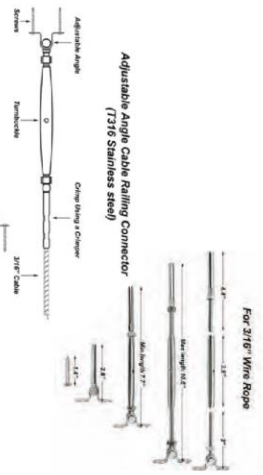


REVISIONS
DATE
REVISION
04-04-2024
PROJECT: 24-0022

07/08



D12 STAIRS DETAIL
SCALE: NTS



D13 CABLES DETAILS
SCALE:

received
5/9/2024

Approved By: **the**
Orange County
Environmental Protection Division
Date: **6/14/2024**
Reviewer: **C. Draglev**
BD-24-05-034

Minimum Side Sashade (L) 15ft 4 (R) 15ft
Minimum Terminal Platform Size 1000sqft
Maximum Water Depth at Terminal Platform 5 feet
Maximum Roof Height Above Floor 15 feet
Minimum Floor Height Above the NTHW 1 foot
Minimum Floor Height Above Walkways 3 feet
Maximum Width of Walkway 5 feet

"In addition to public regulations which Orange County enforces, be advised that there may be other private restrictions or approval requirements that will affect your ability to complete this project. Please review your deed restrictions and/or consult with your Homeowners Association or Architectural Review Board."



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JULIO CALDERIN
12598 KIRBY SMITH RD
ORLANDO FL, 32832

DESIGNER: VICTOR CALDERIN, P.E. State of Florida TE# 22140 12215 Rodeo Run Dr. Winter Garden, FL 34787 (407) 923,3110 vcalderin@jgmbl.com	DETAILS (CONTD)
RELEASE: PERMIT	
REVISION: 04 APR -2024	
PROJECT: 24-0422	

08 / 08



Environmental Protection Division

AFTER-THE-FACT DOCK CONSTRUCTION PERMIT MODIFICATION

Permit No.: BD-24-05-034-MOD

Date Issued: February 24, 2025

Date Expires: February 24, 2026

Permit History: On July 11, 2024, the Environmental Protection Division (EPD) issued permit BD-24-05-034 to construct a boat dock at the subject property. EPD received an application to modify the dock on November 25, 2024. The dock has already been constructed to include the changes proposed with this modification permit. The change in plans includes the addition of 128 square feet to the terminal platform. No other changes have been requested or approved of with this modification. This permit replaces BD-24-05-034.

A Permit Authorizing: The construction of a dock not to exceed the measurements identified on the Environmental Protection Division (EPD) stamp on the plans dated as received by EPD on November 25, 2024.

EPD has evaluated the proposed activity and has made a finding that the request is consistent with Orange County Code, Chapter 15, Article IX, Construction of Dock Ordinance of Orange County and is subject to the permit conditions provided on the following pages:

Activity Location:

12598 Kirby Smith Road, Orlando, FL 32832

Parcel ID No.: 20-24-31-0000-00-027

Lake Name: Whippoorwill

Orange County Commission District: 4

Permittee(s) / Authorized Entity:

Sandra Deniz and Julio Calderin

c/o Alexa Parada

Sunrise Deck & Dock, LLC

Email: alexa@sunrisedeckanddock.com

Orange County Environmental Protection Division
3165 McCrory Place, Suite 200
Orlando, Florida 32803
407-836-1400/ Fax: 407-836-1499
www.OCEPD.org

As the permit holder, you are responsible for ensuring that all the conditions are met. If you are using a contractor to perform the activities authorized within the permit you are both responsible for meeting the conditions of your permit. If you fail to meet any of the conditions, you and/or your contractor may be subject to formal enforcement which may include administrative penalties.

Approval of this permit is subject to the following conditions:

General Conditions for Dock Construction Permits:

1. This permit shall become final and effective upon expiration of the 15-calendar day appeal period following the date of issuance, unless an appeal has been filed within this timeframe. For permits that required approval by the Board of County Commissioners (BCC), the permit shall become final and effective upon expiration of the 30-calendar day period following the date of rendition of the BCC's decision approving the permit, unless a petition for writ of certiorari or other legal challenge has been filed within this timeframe. Any appeal shall stay the effective date of this permit until all appeals are resolved.
2. The operational phase of this permit is effective upon the completion of construction and continues in perpetuity.
3. Construction activities shall be completed in accordance with the approved site plans included with this permit. Construction shall not exceed the measurements identified on the stamp on the plans. The permitted work must be completed within one year from the date of issuance of the permit. Requests for permit extension must be submitted to the EPD prior to the expiration date.
4. The dock must be constructed within an access corridor pursuant to Chapter 15, Article VII, Section 15-255(1). No access corridor is allowed through any conservation area and/or easement.
5. The structure and its use shall not significantly impede navigability in the waterbody.
6. There shall be no dredging or filling associated with construction of the structure(s) authorized herein, other than that required for installation of structural pilings.
7. Dock structures will be maintained in a functional condition and will be repaired or removed if they become dilapidated to such an extent that they are no longer functional.
8. The dock must be constructed to meander around native trees to minimize impacts to natural resources. If any trees are removed (dead or alive), EPD must be notified immediately, and a restoration plan must be submitted to EPD for approval. At a minimum, the plan must consist of native wetland plants on 2-foot centers and native wetland trees on 10-foot centers. The ratio will be at least 4:1 ratio for any trees that are removed.
9. If any fallen trees are located within the proposed dock location they may be cut in place and left within the wetland/conservation area. If trees must be removed, only hand removal is permitted; no heavy equipment or machinery may be utilized. Debris must be removed without displacing soil.
10. Any existing dock shall be completely removed before construction of the new dock can begin. Appropriate erosion and sediment control measures shall be installed around the work area and shall remain in place until all sediments have settled out of the water column. Pilings associated with the existing dock shall be cut at the substrate line or jetted out. All removed materials shall be disposed of at an appropriate offsite location. If the new dock is to be constructed in different location along the shoreline, the previously cleared access corridor shall be allowed to naturally

revegetate for one year. Should the area not reestablish with appropriate native aquatic or wetland vegetation, invasive species removal and replanting may be required.

11. Unless expressly authorized by this permit and approved site plans, no floating platform structure has been approved with the issuance of this permit. If, at any time, any addition to the terminal platform (including, but not limited to, a floating platform) is proposed, the permittee(s) or future owners of the property may be required to apply for, and obtain, a new Dock Construction Permit.
12. All excess lumber, scrap wood, trash, garbage, and similar materials shall be removed from the project area immediately.
13. The permit holder and/or designated agent must submit a notice of completion to EPD within 30 days of completion of the construction or repair of the permitted structure so that a compliance check may be performed by EPD staff. The permittee(s) must provide as-built drawings on a final survey, signed and sealed by an appropriate professional licensed by the State of Florida, with the notice of completion. The signed and sealed as-built survey shall consist of an aerial view and a side view of the dock as well as any other information required to demonstrate compliance with the permit. The following items must be included on the survey:
 - a. North arrow;
 - b. Name of water body;
 - c. Reference point;
 - d. Setback distance from all portions of the boat dock;
 - e. The Normal High Water Elevation (NHWE);
 - f. Floor elevation (measured from the NHWE);
 - g. Roof elevation (measured from the top of the floor to the top of the roof);
 - h. Length of the dock below the NHWE;
 - i. Access walkway width;
 - j. Conservation easements, wetlands, buffers, berm and swale/drainage easements;
 - k. Floor elevation of the dock through wetlands;
 - l. Complete dimensions of the terminal platform; and
 - m. Elevation of the lake bottom at the waterward end of the terminal platform.
14. Upon completion of construction, the permittee(s) shall provide EPD with photographs of the dock to wetlandpermitting@ocfl.net from the following locations:
 - a. From the shoreline or backyard looking out towards the lake and dock;
 - b. View of the terminal platform from access walkway;
 - c. The end of the terminal platform looking back towards the shoreline;
 - d. View from each property corner looking towards the dock;
 - e. View of the access walkway with a tape measure in frame to show the height of the top of the access walkway deck over wetlands (if applicable); and,
 - f. View of the water depth at the waterward end of the terminal platform with a tape measure in frame that is flush with the top of the deck so a dimension is clearly visible.
15. At least 48-hours prior to commencement of activity authorized by this permit, the permittee(s) shall submit to EPD at wetlandpermitting@ocfl.net, a Construction Notice indicating the actual start date and expected completion date.
16. The permittee(s) shall notify EPD, in writing, within 30 days of any sale, conveyance, or other transfer of ownership or control of the real property subject to this permit. The permittee(s) shall remain liable for all permit conditions and corrective actions that may be required as a result of any permit violations which occur prior to the transfer of the permit by Orange County to a subsequent

owner. If applicable, no permit shall be transferred unless and until adequate financial assurance has been provided and approved by Orange County.

17. A copy of this permit, along with EPD stamped and approved drawings should be taken to the Orange County Zoning Division (OCZD) at 201 South Rosalind Avenue to obtain a building permit. For further information, please contact the OCZD at (407) 836-5525. After approval by OCZD, the certified site plans will need to be reviewed by the Orange County Building Safety Division (OCBSD) in order to obtain a building permit. For further information, please contact the OCBSD at (407) 836-5550.
18. If the property is within the Town of Windermere, a copy of this permit, along with EPD stamped and approved drawings should be taken to the Town of Windermere at 614 Main Street to obtain a building permit. For further information, please contact the Town of Windermere at 407-876-2563.
19. Some lakes experience a wide fluctuation of water levels. There may be times during the year that the dock authorized herein may not be usable to access the water.
20. Subject to the terms and conditions herein, the permittee(s) is hereby authorized to perform or cause to be performed, the impacts shown on the application and approved drawings, plans, and other documents attached hereto or on file with EPD. The permittee(s) binds itself and its successors to comply with the provisions and conditions of this permit. If EPD determines at any time that activities are not in accordance with the conditions of the permit, work shall cease and the permit may be revoked immediately by the Environmental Protection Officer. Notice of the revocation shall be provided to the permit holder promptly thereafter.
21. Prior to construction, the permittee(s) shall clearly designate the limits of construction on-site. The permittee(s) shall advise the contractor that any work outside the limits of construction, including clearing, may be a violation of this permit.
22. The projected property lines, as identified on the stamped permit drawings, should be field staked by a professional land surveyor prior to the start of construction to be sure that the dock is constructed in the permitted location. Utilizing an adjacent boat dock or fence line is not sufficient for accurate placement of the dock and may result in the placement of the dock in the wrong location. It is extremely important to build the dock in the approved location. Upon completion of construction, if an unauthorized encroachment into the required minimum setback occurs, you may be required to relocate the dock.
23. The permittee(s) shall require the contractor to maintain a copy of this permit, complete with all approved drawings, plans, conditions, attachments, exhibits, and modifications in good condition at the construction site. The permittee(s) shall require the contractor to review the permit prior to commencement of the activity authorized by this permit. The complete permit shall be available upon request by Orange County staff.
24. Issuance of this permit does not warrant in any way that the permittee(s) has riparian or property rights to construct any structure permitted herein and any such construction is done at the sole risk of the permittee(s). If any part of the structure(s) permitted herein is determined by a final adjudication issued by a court of competent jurisdiction to encroach on or interfere with adjacent property owner's riparian or other property rights, the permittee(s) agrees to either obtain written consent or to remove the offending structure or encroachment within 60 days from the date of the adjudication. Failure to comply shall constitute a material breach of this permit and shall be grounds for its immediate revocation.

25. This permit does not release the permittee(s) from complying with all other federal, state, and local laws, ordinances, rules and regulations. Specifically, this permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee(s) or create in the permittee(s) any property right, or any interest in real property, nor does it authorize any entrance upon or activities upon property which is not owned or controlled by the permittee(s), or convey any rights or privileges other than those specified in the permit and Chapter 15, Article IX of the Orange County Code. If these permit conditions conflict with those of any other regulatory agency the permittee(s) shall comply with the most stringent conditions. The permittee(s) shall immediately notify EPD of any conflict between the conditions of this permit and any other permit or approval.
26. The permittee(s) is hereby advised that Section 253.77, Florida Statutes (FS), states that a person may not commence any excavation, construction, or other activity involving the use of sovereignty or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement or other form of consent authorizing the proposed use. Therefore, the permittee(s) is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.
27. Should any other regulatory agency require changes to the permitted activities, the permittee(s) shall provide written notification to EPD of the change prior to implementation so that a determination can be made whether a permit modification is required.
28. EPD shall have final construction plan approval to ensure that no modification has been made during the construction plan process.
29. The permittee(s) shall immediately notify EPD in writing of any previously submitted information that is later discovered to be inaccurate.
30. EPD staff, with proper identification, shall have permission to enter the site at any reasonable time ensure conformity with the plans and specifications approved by the permit.
31. The permittee(s) shall hold and save the County harmless from any and all damages, claims or liabilities, which may arise by reason of the activities authorized by the permit.
32. All costs, including attorney's fees, incurred by the County in enforcing the terms and conditions of this permit shall be required to be paid by the permittee(s).
33. The permittee(s) agrees that any dispute arising from matters relating to this permit shall be governed by the laws of Florida, and initiated only in Orange County.
34. Turbidity and sediments shall be controlled to prevent violations of water quality pursuant to Rules 62-302.500, 62-302.530(70) and 62-4.242 Florida Administrative Code. Best Management Practices, as specified in the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual, shall be installed and maintained at all locations where the possibility of transferring suspended solids into wetlands and/or surface waters may occur due to the permitted activity. If site-specific conditions require additional measures, then the permittee(s) shall implement them as necessary to prevent adverse impacts to wetlands and/or surface waters.
35. Pursuant to Section 125.022 FS, issuance of this permit by the County does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the County for issuance of the permit if the applicant fails to

obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

36. Pursuant to Section 125.022 FS, the applicant shall obtain all other applicable state or federal permits before commencement of the activity authorized herein.

If you should have any questions concerning this permit, please contact Caroline Dragiev at 407-429-9887 or Caroline.Dragiev@ocfl.net.

Project Manager:



Caroline Dragiev, Senior Environmental Specialist

Authorized for the Orange County Environmental Protection Division by:



for

Renée H. Parker, LEP, Environmental Protection Officer

CD/~~KK~~/TMH: gfdjr

Enclosure(s): Construction Notice
 Approved Plans

c: Sandra Deniz and Julio Calderin, luis@soleilsurgical.com
Florida Department of Environmental Protection, DEP_CD@dept.state.fl.us
Elizabeth Johnson, EPD, Liz.Johnson@ocfl.net



Construction Notice

- ☐ BEGINNING OF CONSTRUCTION
- ☐ COMPLETION OF CONSTRUCTION

Mail to: Orange County Environmental Protection Division
3165 McCrory Place, Suite 200
Orlando, FL 32803
Or Fax to: 407-836-1499
Or E-Mail to: WetlandPermitting@ocfl.net

Permit Number and Name: BD-24-05-034-MOD, Calderin/Deniz - 12598
Kirby Smith Rd

Permit Type: BOAT DOCK

Approximate Starting Date: _____

Approximate Completion Date: _____

Remarks or any additional information:

I certify I am the permittee / Authorized Entity of the above permit issued by the Orange County Environmental Protection Division and in accordance with the terms of such permit will ☐ begin or ☐ have completed the actual construction of the work described in the permit.

Signature of Permittee: _____

Printed name of Permittee: _____

Date: _____



received
11/25/2024

Approved By The
Orange County
Environmental Protection Division
Date: 1/16/2025
Reviewer: C. Dragiev
BD-24-05-034-MOD

Minimum Side Setbacks (L) 15ft & (R) 15ft
Maximum Terminal Platform Size 1000sqft
Maximum Water Depth at Terminal Platform 5 feet
Maximum Roof Height Above Floor 15 feet
Minimum Floor Height Above the NHWE 1 foot
Minimum Floor Height Above Wetlands 3 feet
Maximum Width of Walkway 5 feet

In addition to public regulations which Orange County enforces, be advised that there may be other private restrictions or approval requirements that will affect your ability to complete this project. Please review your deed restrictions and/or consult with your Homeowners Association or Architectural Review Board.



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**JULIO CALDERIN
12598 KIRBY SMITH RD
ORLANDO FL, 32832**

PLANS

RELEASE: PERMIT

REVISION: 04-APR -2024

PROJECT: 24-0422

01 / 01

DESIGN LOADS:

Ultimate Wind: 140 mph at 3 second gust (30 psf minimum)
 Building Type: I Risk Factor: 1.0
 Exposure Category: "D" (FBC 1609.4.3 & ASCE 7-16, Section 26.7.2)
 Deck Live Load: 40 psf Dead Load: 10 psf
 Roof Live Load: 20 psf Dead Load: 10 psf
 Guardrails and handrails: 200 psf
 Guardrail in fill components: 50psf Stairs: 40psf
 Components and cladding, design wind pressures + 38psf/-38psf

TIMBER:

Design in accordance with the National Design specification for wood construction, with loading in accordance with the Florida Building Code. All graded structural lumber shall be pressure treated and meet the following minimum requirements:

CODE:

Design and Construction shall abide by the 2020 Florida Building Code, Residential 7th Edition.

Minimum bending stress = 1250 psi (No. 1 Dense So. Pine)
 Young Modulus = 1600 ksi
 Maximum of 15% moisture content
 Contractor may use Southern Yellow Pine No. 2 or U.O.N.
 Lumber sizes shown are nominal sizes. Lumber shall be furnished in finished sizes meeting the requirement of the American Softwood Lumber Standard.

GALVANIZED BOLTS:

All bolts shall be galvanized be ASTM A572 grade 50 threaded round stock with a minimum yield stress of 50,000 psi.

STRUCTURAL ALUMINUM:

Conform to latest edition of Aluminum Association of Florida standard practice for aluminum design.
 All aluminum shall be 6061-T6 (E= 10,000 ksi; Fy = 35 ksi)

CONCRETE:

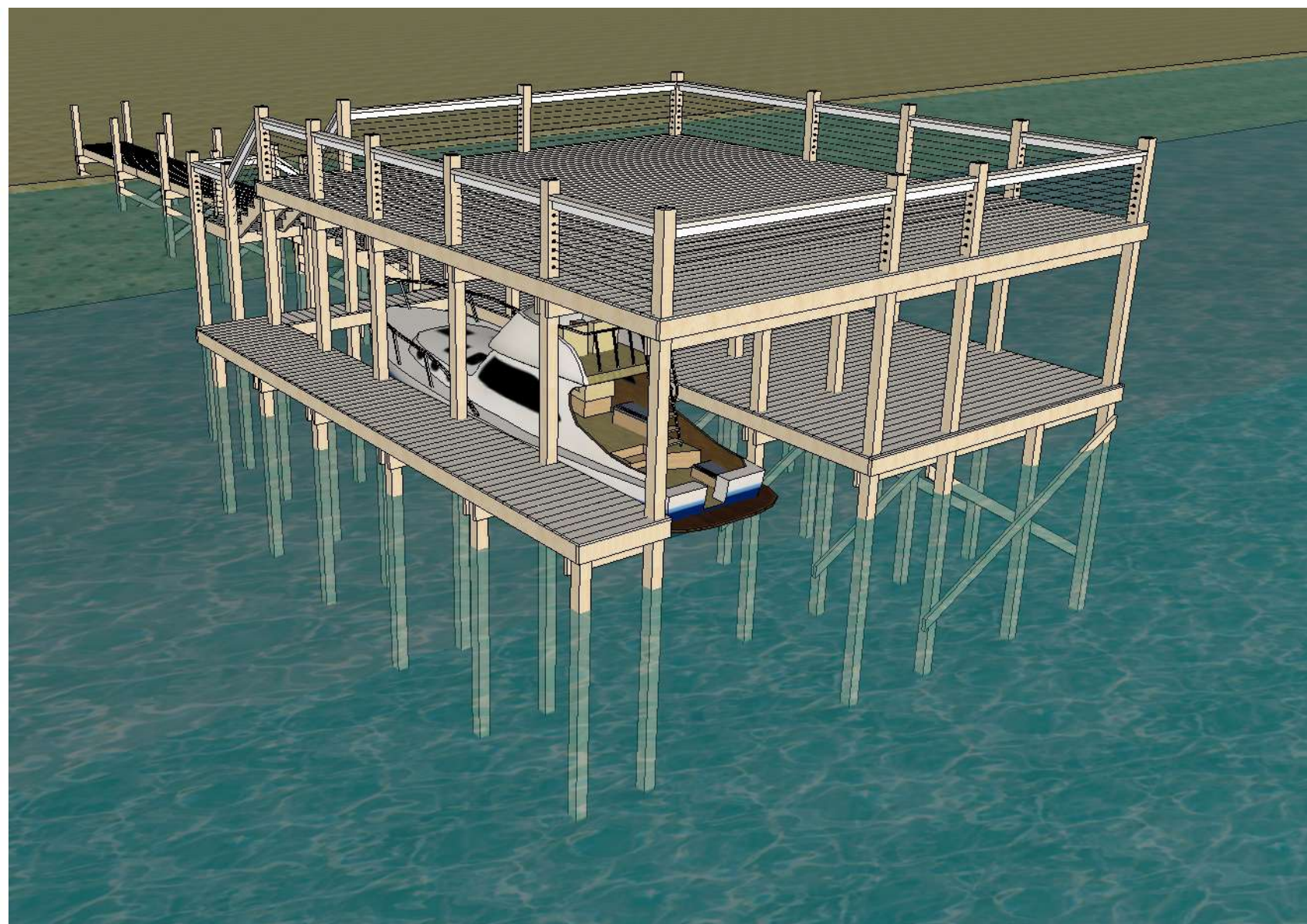
Conform to ACI 318, latest edition and ACI 301 Compressive Ultimate Strength (Minimum at 28 days) shall be 3,000 psi
 Exposed chamfer edges shall be ¾.

REINFORCING STEEL:

Conform to ACI 318 and 315, Latest edition All reinforcement steel shall be ASTM A615 Grade 60. Min footing cover 3"
 Smooth dowels & ties shall be ASTM A 185

FOUNDATION:

The embedded depth of the posts and the layout and design of the posts is certified to accommodate all the stresses and loads from the dock.
 Piles will be wrapped to protect from chemicals.



received
 11/25/2024

Approved By The
 Orange County
 Environmental Protection Division
 Date: 1/16/2025
 Reviewer: C. Dragiev
 BD-24-05-034-MOD

Minimum Side Setbacks (L) 15ft & (R) 15ft
 Maximum Terminal Platform Size 1000sqft
 Maximum Water Depth at Terminal Platform 5 feet
 Maximum Roof Height Above Floor 15 feet
 Minimum Floor Height Above the NHWE 1 foot
 Minimum Floor Height Above Wetlands 3 feet
 Maximum Width of Walkway 5 feet

In addition to public regulations which Orange County enforces, be advised that there may be other private restrictions or approval requirements that will affect your ability to complete this project. Please review your deed restrictions and/or consult with your Homeowners Association or Architectural Review Board.

PROJECT ADDRESS:

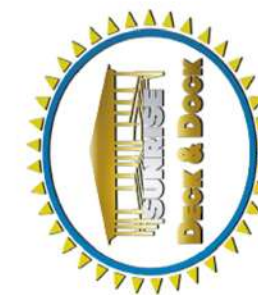
JULIO CALDERIN
 12598 KIRBY SMITH RD
 ORLANDO FL, 32832

PROFESSIONAL ENGINEER

WILLIAM F STUHRKE PHD, PE
 FLORIDA PE #22150
 (407) 920-3119

GENERAL CONTRACTOR

ALEXANDER COTRINO, MBA
 SPACETOWN BUILDERS LLC
 7065 WESTPOINTE BLVD, SUITE
 305 ORLANDO FL, 32835
 FLORIDA GC #GCG1528457



Sunrise Deck and Dock
 Kissimmee FL 34758
 www.sunrisedeckanddock.com
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 (407) 530-7880

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 ORLANDO FL, 32832

COVER PAGE

RELEASE: PERMIT

REVISION: 04-APR -2024

PROJECT: 24-0422

01/08

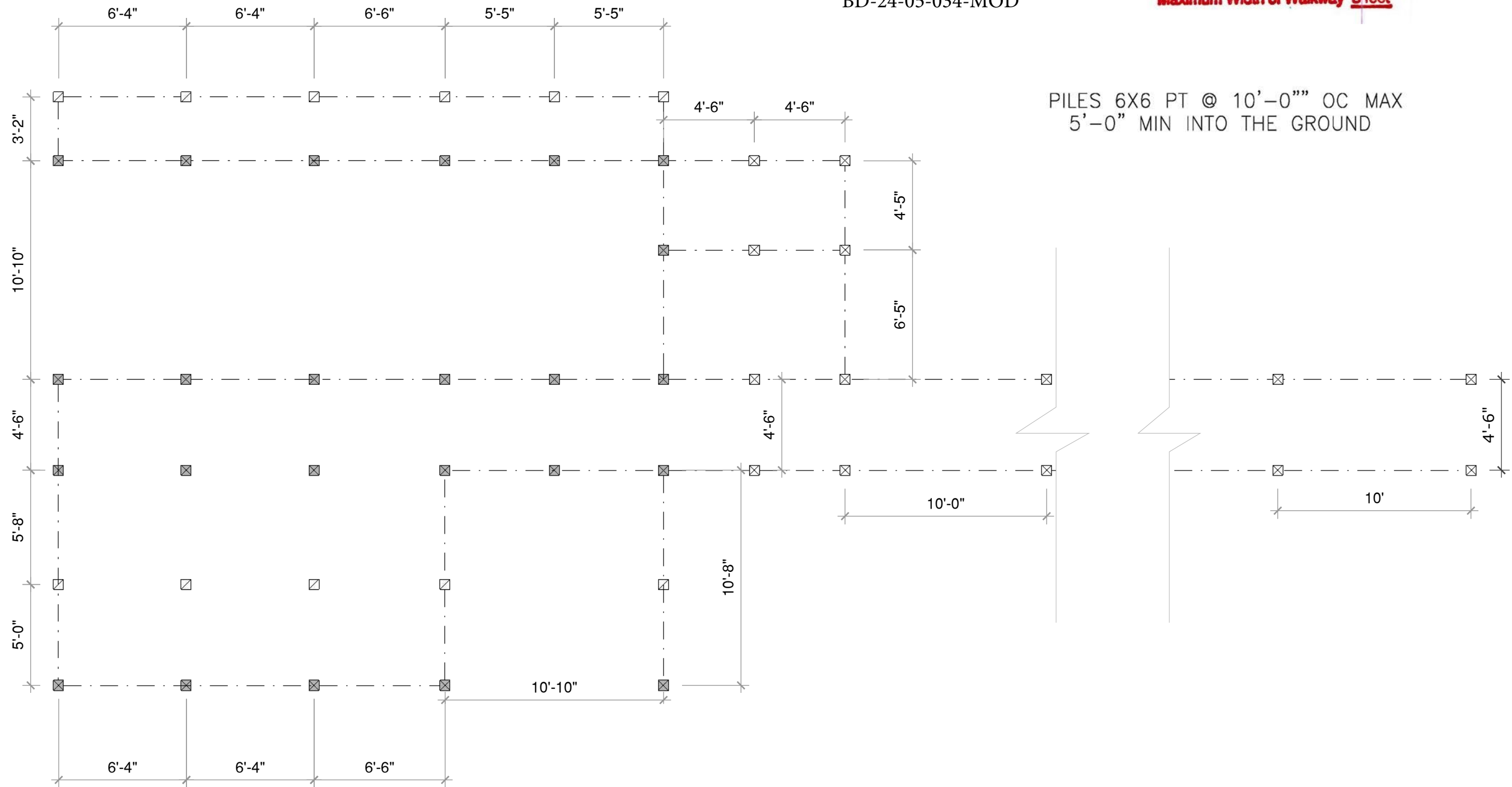
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- ROOF POSTS
- ⊠ 42" POSTS
- POST UNDER DOCK

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12598 KIRBY SMITH RD
ORLANDO FL, 32832

PLANS

RELEASE: PERMIT

REVISION: 04-APR - 2024

PROJECT: 24-0422

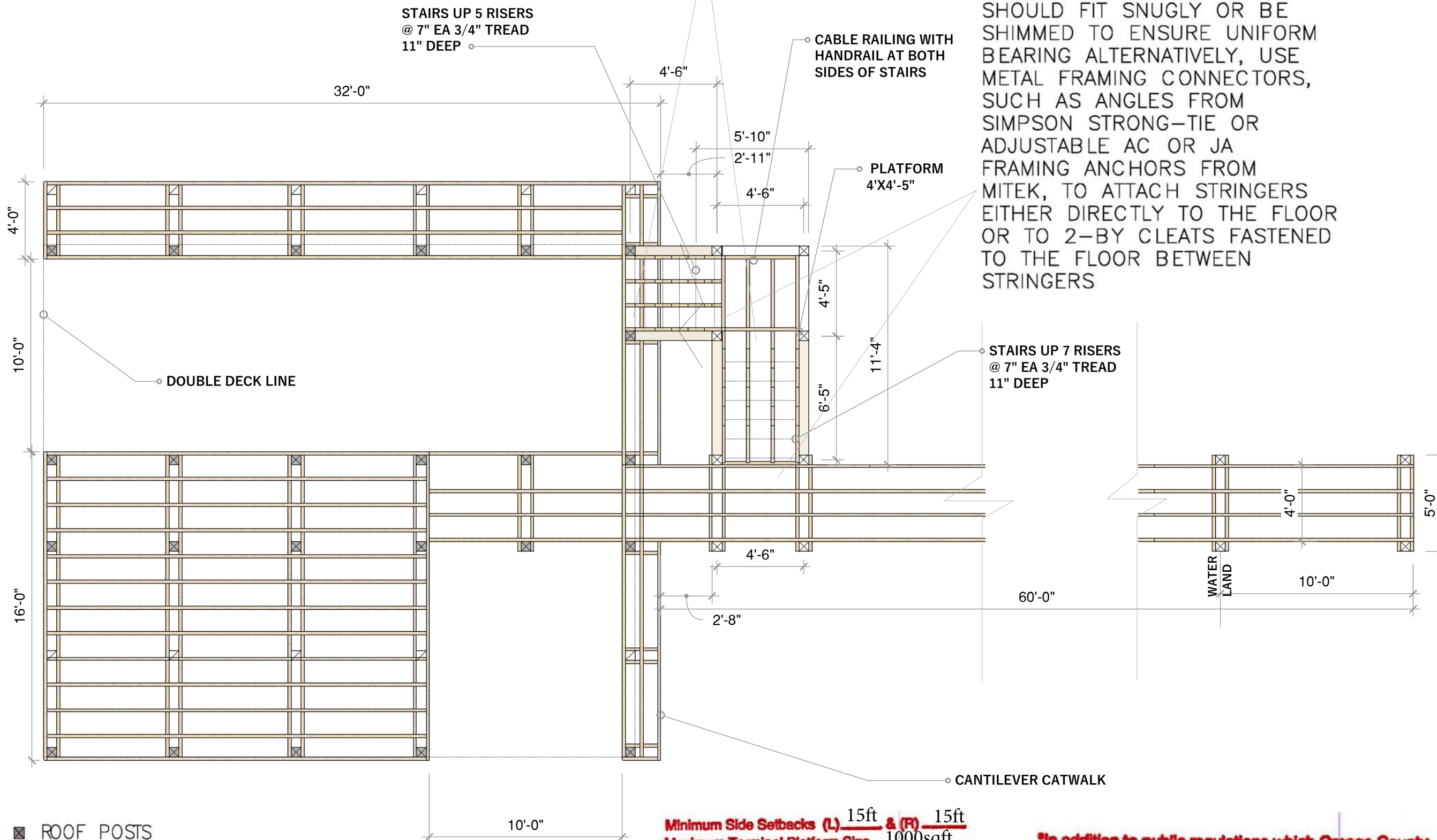
02 / 08

received
11/25/2024

Approved By The
Orange County
Environmental Protection Division
Date: 1/16/2025
Reviewer: C. Dragiev
BD-24-05-034-MOD

TO ANCHOR STRINGER FROM LANDING
TO SECOND FLOOR WITH SIMPSON
STRONG-TIE 2-STEP 18-GAUGE ZMAX
GALVANIZED ADJUSTABLE STINGER
CONNECTOR OR SIMILAR, TO
2"X8" P.T. LUMBER

TO ANCHOR STAIRS AT THE
BOTTOM, STRINGERS ARE
COMMONLY NOTCHED TO
ACCEPT A 2-BY KICKBOARD
ATTACHED TO THE FLOOR. TO
AVOID SPLITTING THE WOOD IN
THE FIRST TREAD, NOTCHES
SHOULD FIT SNUGLY OR BE
SHIMMED TO ENSURE UNIFORM
BEARING ALTERNATIVELY, USE
METAL FRAMING CONNECTORS,
SUCH AS ANGLES FROM
SIMPSON STRONG-TIE OR
ADJUSTABLE AC OR JA
FRAMING ANCHORS FROM
MITEK, TO ATTACH STRINGERS
EITHER DIRECTLY TO THE FLOOR
OR TO 2-BY CLEATS FASTENED
TO THE FLOOR BETWEEN
STRINGERS



- ☒ ROOF POSTS
- ☒ 42" POSTS
- ☒ POST UNDER DOCK

Minimum Side Setbacks (L) 15ft & (R) 15ft
Maximum Terminal Platform Size 1000sqft
Maximum Water Depth at Terminal Platform 5 feet
Maximum Roof Height Above Floor 15 feet
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Maximum Width of Walkway 5 feet

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PLANS

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REVISION: 04-APR - 2024

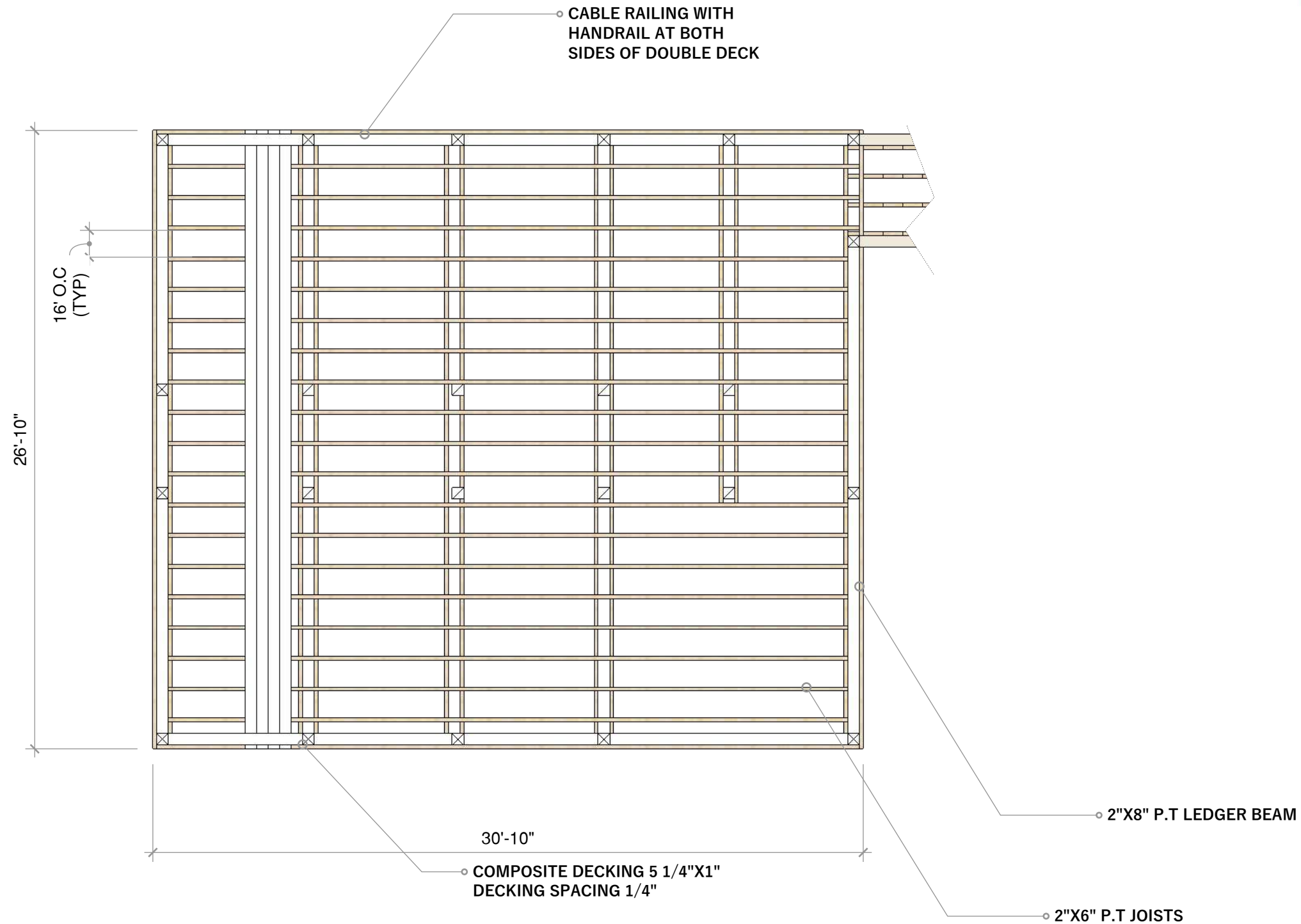
PROJECT: 24-0422

03 / 08

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Maximum Terminal Platform Size 1000sqft
Maximum Water Depth at Terminal Platform 5 feet
Maximum Roof Height Above Floor 15 feet
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Minimum Floor Height Above Wetlands 3 feet
Maximum Width of Walkway 5 feet



- 42" POSTS
- POST UNDER DOUBLE DECK

1 SCALE: 1/8" = 1'-0" DOUBLE DECK

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PLANS

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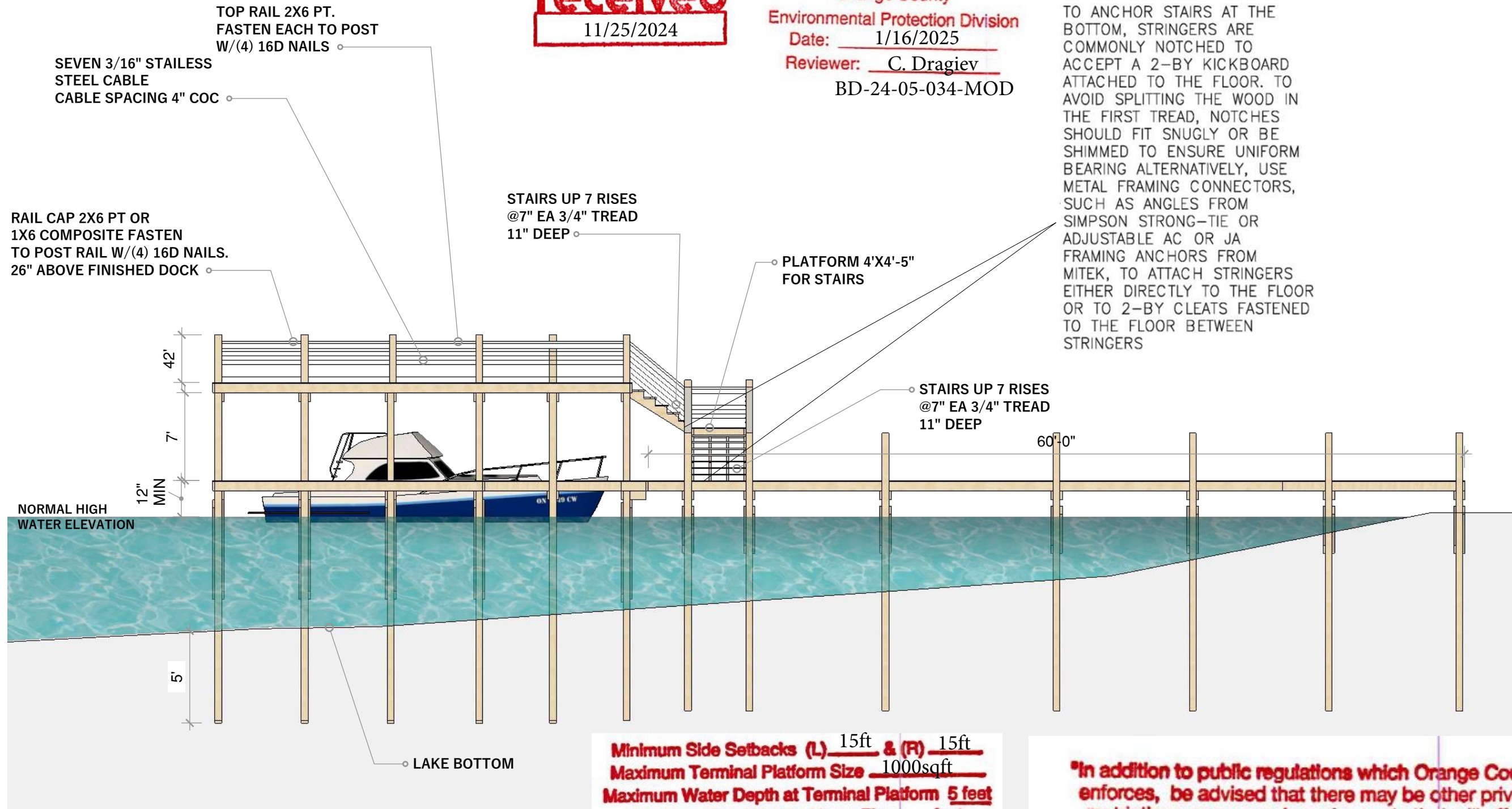
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04/08

received
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Date: 1/16/2025
Reviewer: C. Dragiev
BD-24-05-034-MOD

TO ANCHOR STAIRS AT THE BOTTOM, STRINGERS ARE COMMONLY NOTCHED TO ACCEPT A 2-BY KICKBOARD ATTACHED TO THE FLOOR. TO AVOID SPLITTING THE WOOD IN THE FIRST TREAD, NOTCHES SHOULD FIT SNUGLY OR BE SHIMMED TO ENSURE UNIFORM BEARING. ALTERNATIVELY, USE METAL FRAMING CONNECTORS, SUCH AS ANGLES FROM SIMPSON STRONG-TIE OR ADJUSTABLE AC OR JA FRAMING ANCHORS FROM MITEK, TO ATTACH STRINGERS EITHER DIRECTLY TO THE FLOOR OR TO 2-BY CLEATS FASTENED TO THE FLOOR BETWEEN STRINGERS



12" MINIMUM FLOOR
ELEVATION OF DOCK
ABOVE NHWE OF LAKE

5' MAXIMUN WATER DEPTH
ALLOWED FOR MOORING
AREAS AS MEASURED FROM
NHWE

ACCESS WALKWAY MUST BE
ELEVATED A MINIMUM OF 3'
ABOVE THE GROUND
THROUGHOUT THE
CONSERVATION EASEMENT

In addition to public regulations which Orange County enforces, be advised that there may be other private restrictions or approval requirements that will affect your ability to complete this project. Please review your deed restrictions and/or consult with your Homeowners Association or Architectural Review Board.

PILES 6X6 PT @8'-0" OC MAX
5'-0" MIN INTO THE GROUND



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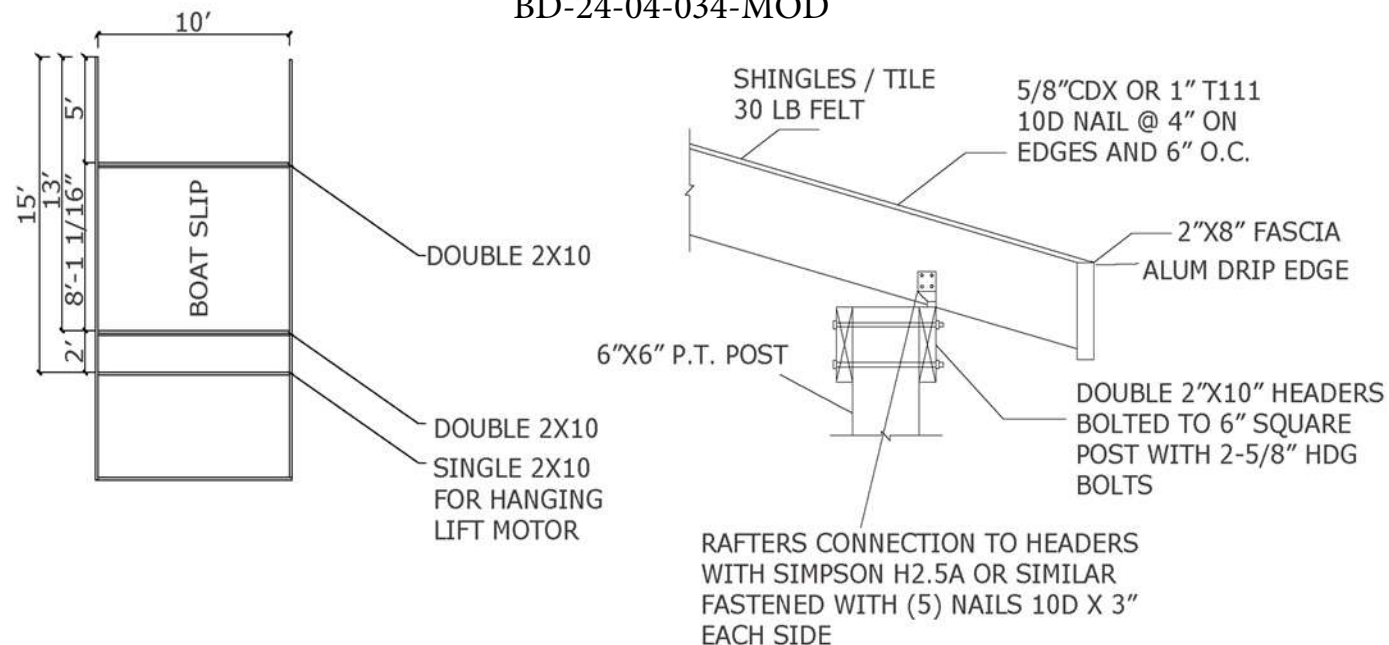
ELEVATION	
RELEASE:	PERMIT
REVISION: 04-APR - 2024	
PROJECT:	24-0422

05 / 08

received

11/25/2024

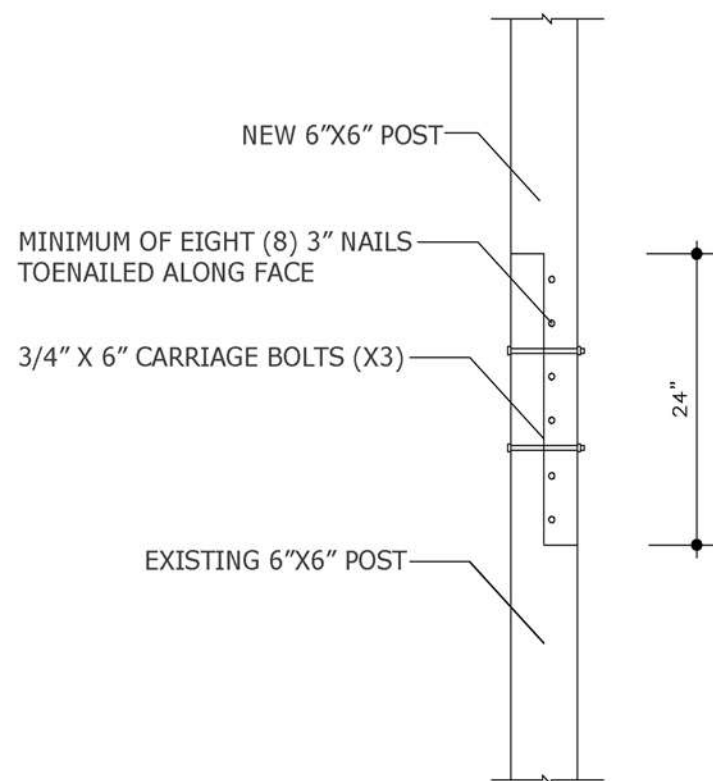
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Orange County
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Date: 1/16/2025
Reviewer: C. Dragiev
BD-24-04-034-MOD



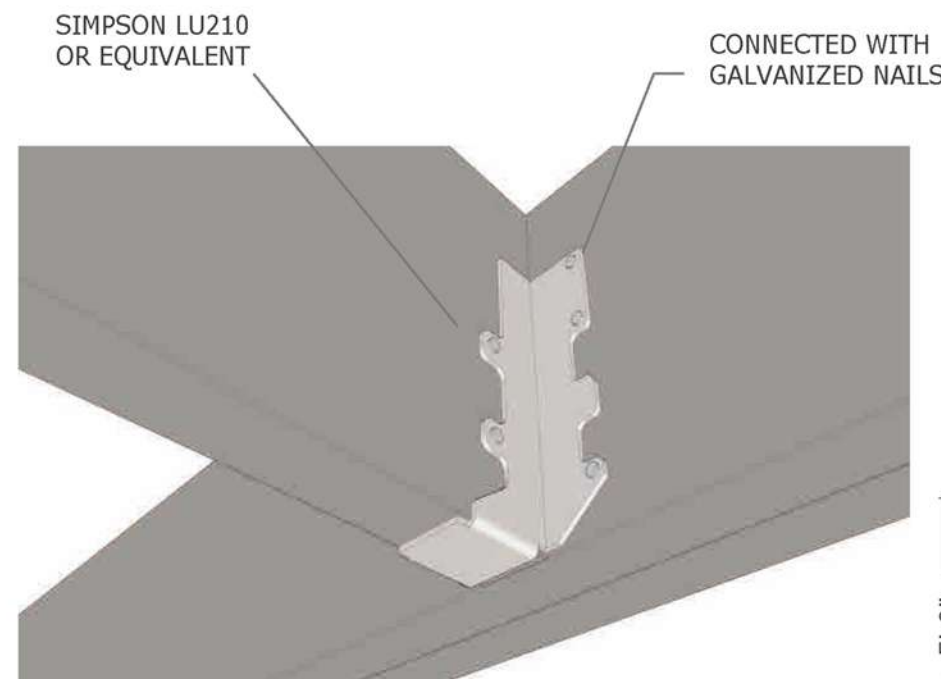
D1 BOAT LIFT FRAMING
SCALE: 1/32"=1'-0"

D2 EAVE DETAIL
SCALE: 3/4"=1'-0"

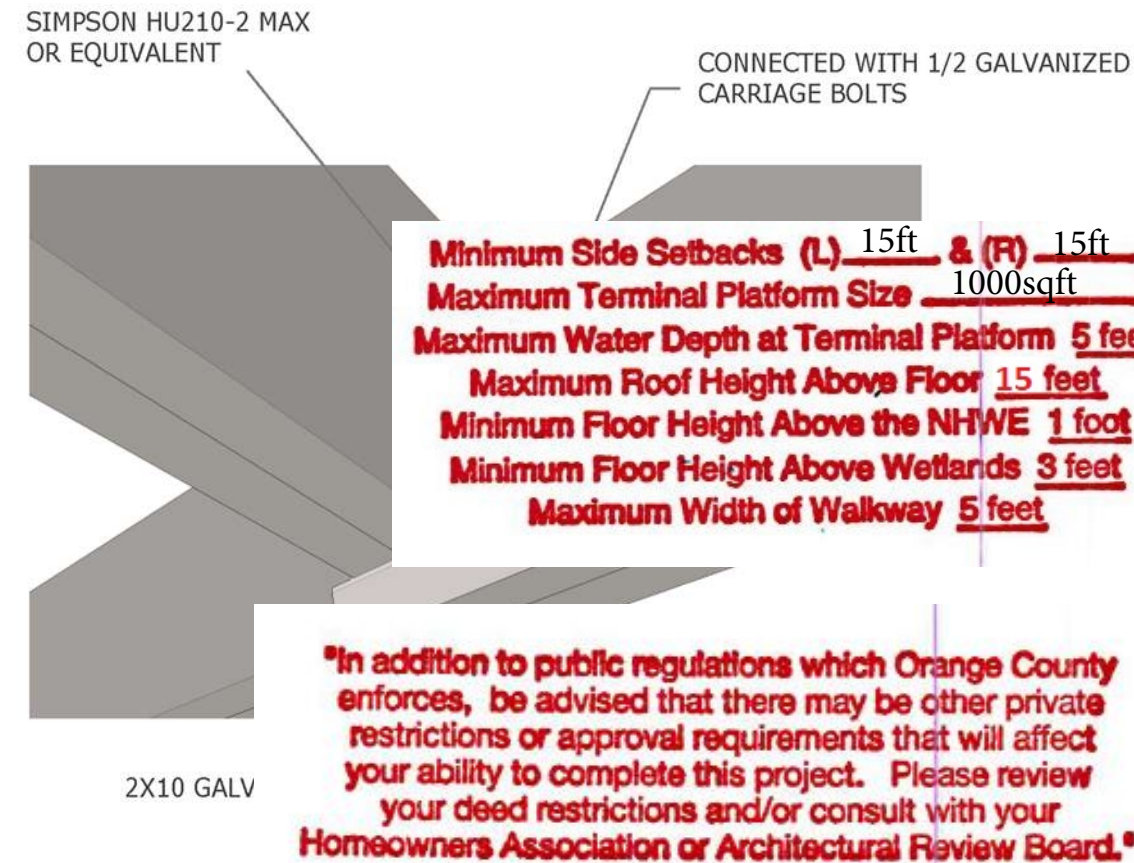
D3 LIFT HANGING DETAIL
SCALE: NTS



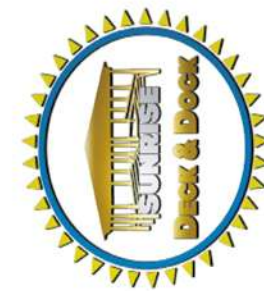
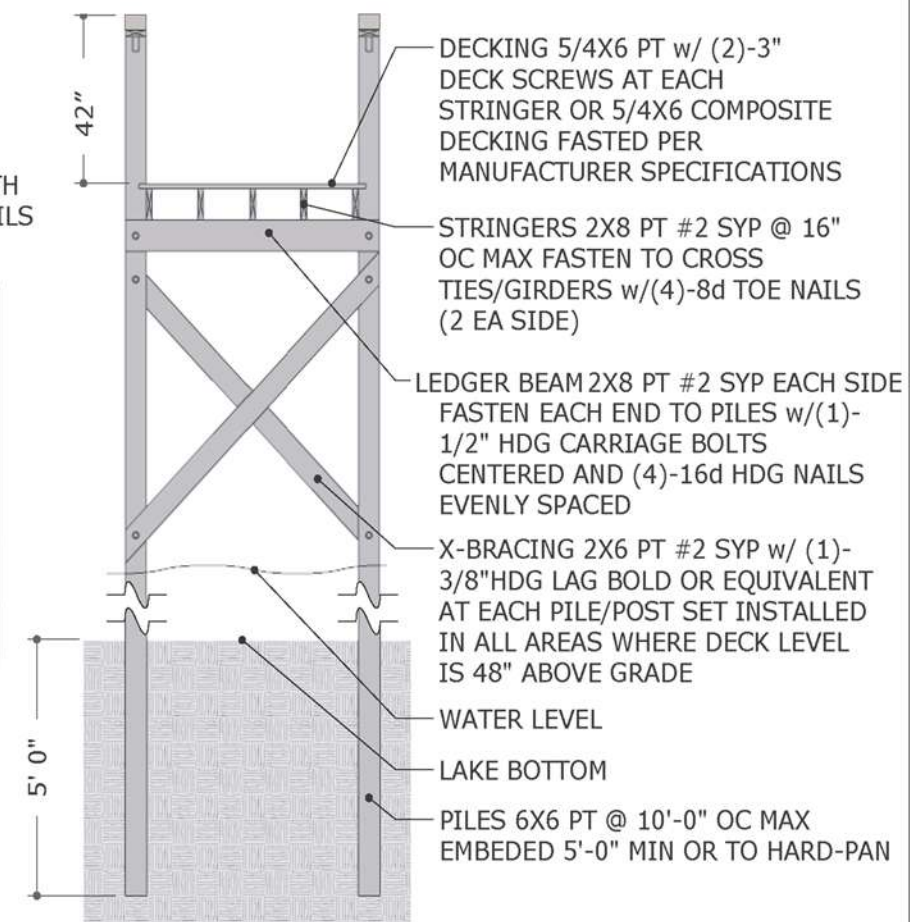
D4 SPLICE DETAIL
SCALE: 3/4"=1'-0"



D5 HANGING LIFT MOTOR DETAIL
SCALE: NTS



D6 WALKWAY SECTION
SCALE: 1/4"=1'-0"



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DETAILS

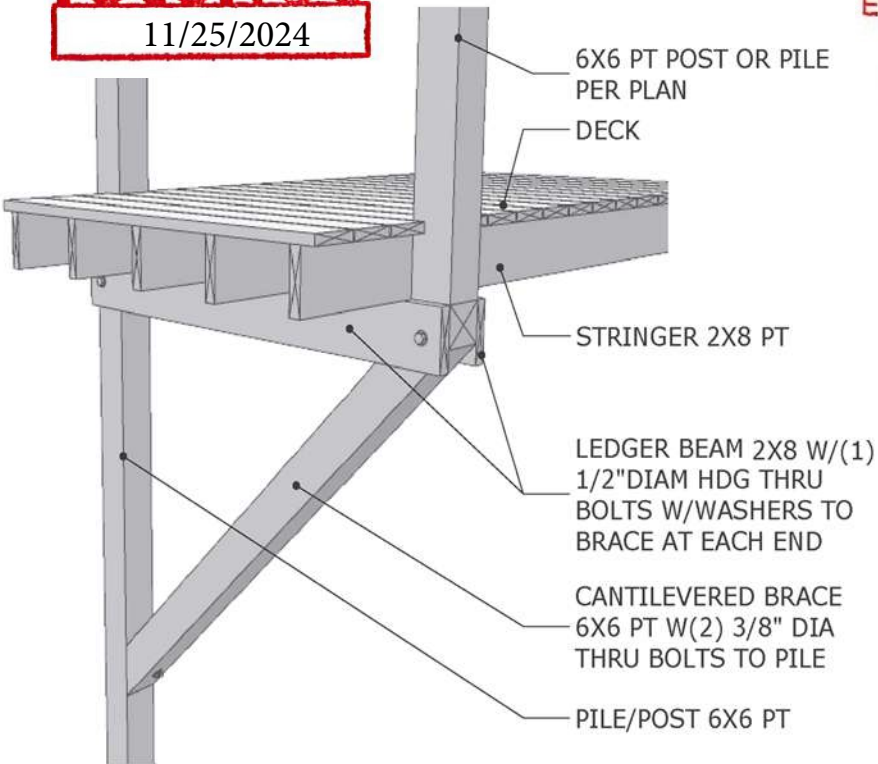
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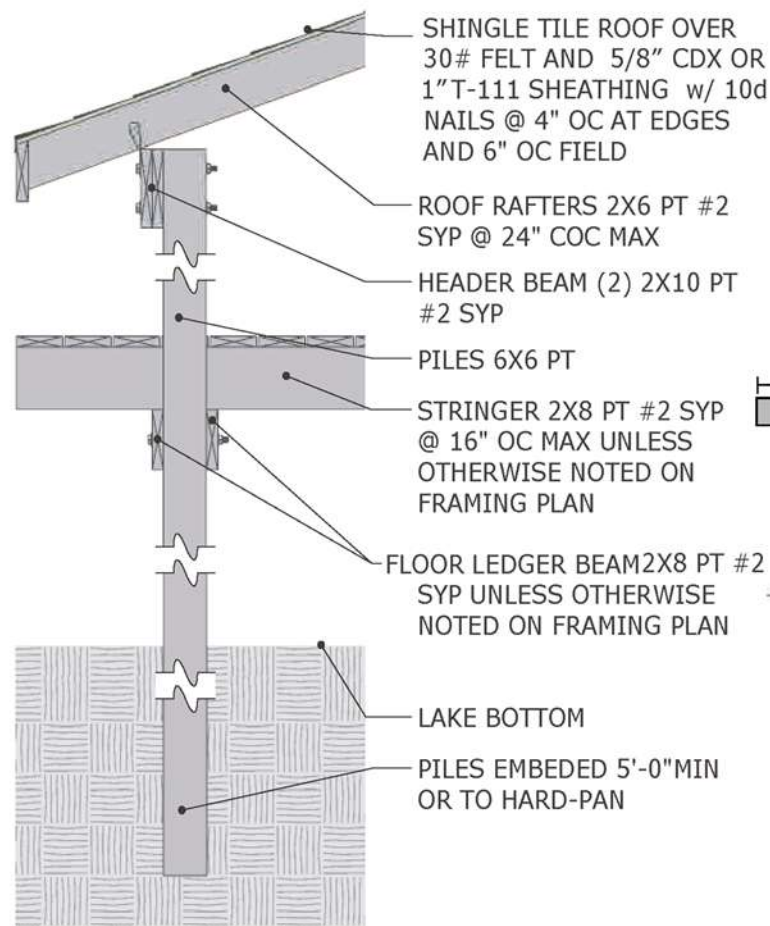
PROJECT: 24-0422

06 / 08

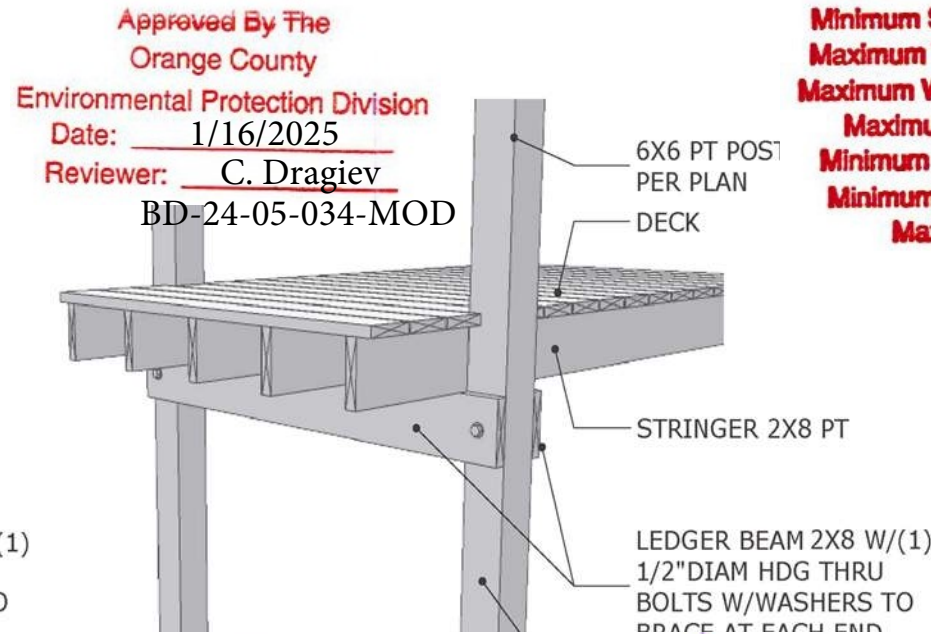
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11/25/2024



D7 CANTILEVER CONNECTION
SCALE: 1/2"=1'-0"

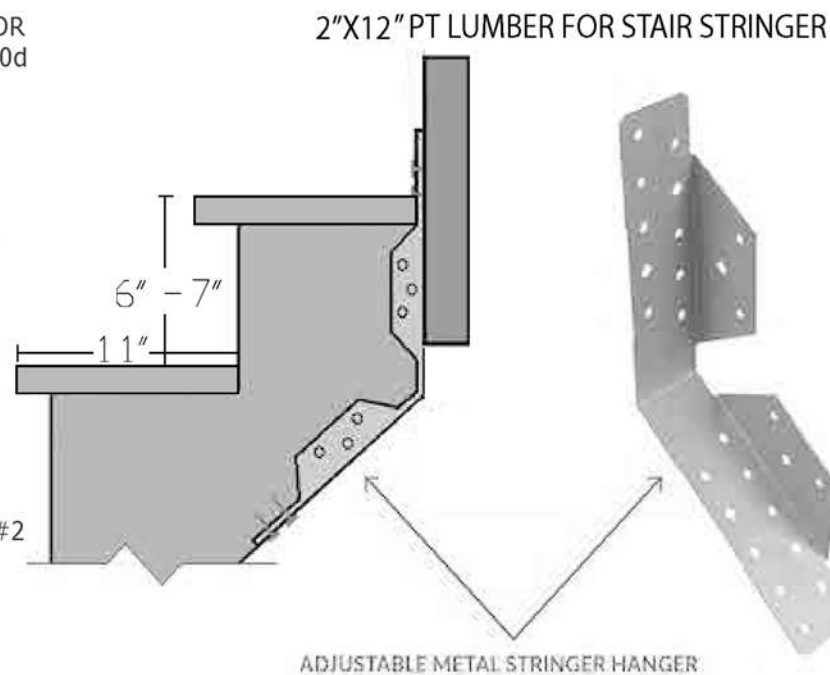


D10 SECTION
SCALE: 1/2"=1'-0"



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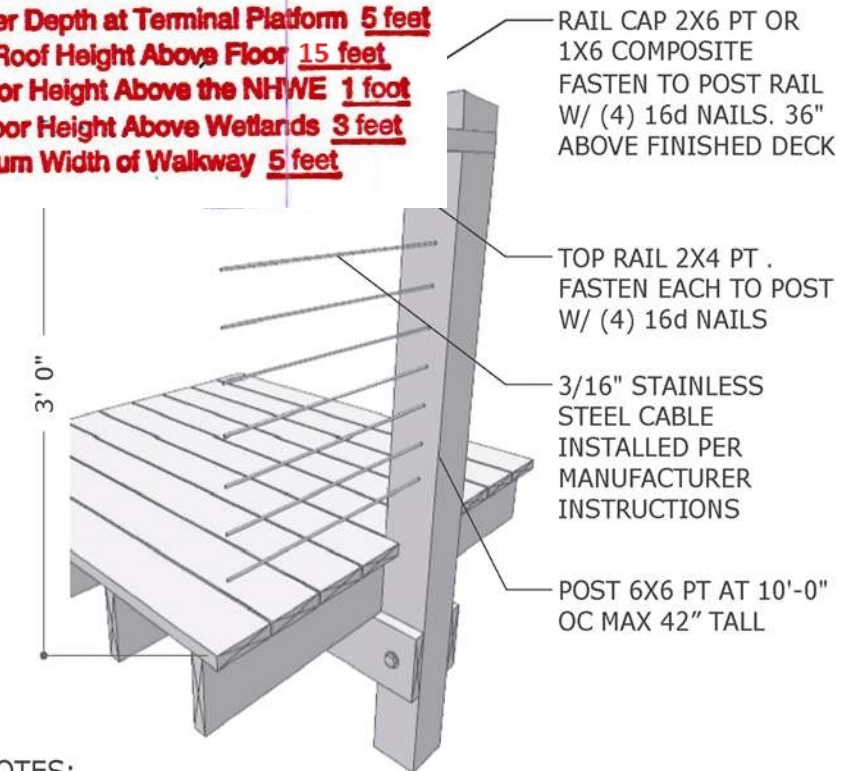
D8 LEDGER BEAM TO POST CONNECT
SCALE: 1"=1'-0"



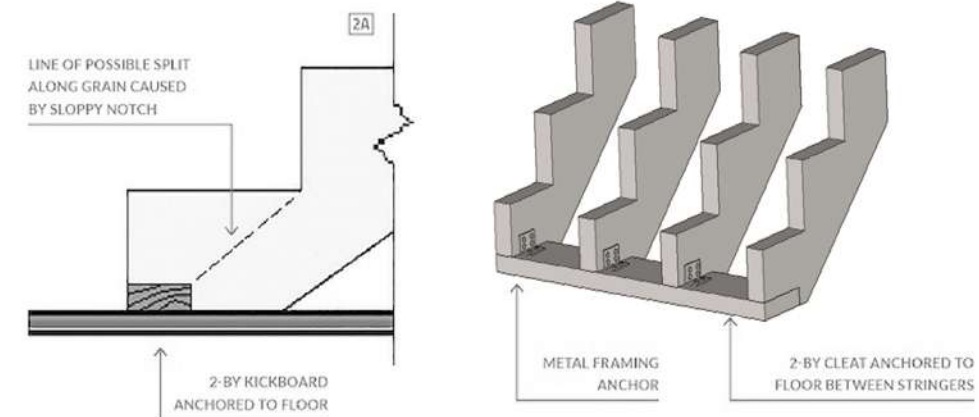
NOTES:
SIMPSON STRONG-TIE 2-STEP 18-GAUGE ZMAX GALVANIZED ADJUSTABLE STRINGER CONNECTOR OR SIMILAR
STRINGERS IN STAIRS 16" O.C.

D11 STAIR DETAILS
SCALE: NTS

Minimum Side Setbacks (L) 15ft & (R) 15ft
Maximum Terminal Platform Size 1000sqft
Maximum Water Depth at Terminal Platform 5 feet
Maximum Roof Height Above Floor 15 feet
Minimum Floor Height Above the NHWE 1 foot
Minimum Floor Height Above Wetlands 3 feet
Maximum Width of Walkway 5 feet



NOTES:
BE FASTENED w/ (4)-16d NAILS EACH END
N SHALL NOT EXCEED 10'-0"
S WILL BE 4" OC
RAILING MUST BE 36" IN HEIGHT
BREAK STRENGTH=3,700LBS, WORKING LOAD LIMIT=740LBS
D9 CABLE RAILING WITH HANDRAIL
SCALE: 1"=30'-0"



TO ANCHOR STAIRS AT THE BOTTOM, STRINGERS ARE COMMONLY NOTCHED TO ACCEPT A 2-BY KICKBOARD ATTACHED TO THE FLOOR. TO AVOID SPLITTING THE WOOD IN THE FIRST TREAD, NOTCHES SHOULD FIT SNUGLY OR BE SHIMMED TO ENSURE UNIFORM BEARING ALTERNATIVELY, USE METAL FRAMING CONNECTORS, SUCH AS ANGLES FROM SIMPSON STRONG-TIE OR ADJUSTABLE AC OR JA FRAMING ANCHORS FROM MITEK, TO ATTACH STRINGERS EITHER DIRECTLY TO THE FLOOR OR TO 2-BY CLEATS FASTENED TO THE FLOOR BETWEEN STRINGERS

D12 STAIR DETAILS
SCALE: NTS



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ORLANDO FL, 32832

ENGINEERING
William F. Stuhke, PhD, P.E.
State of Florida PE # 22150
12215 Rebeccas Run Dr.
Winter Garden, FL 34787
(407) 920-3119
wfstuhke@gmail.com

DETAILS

RELEASE: PERMIT

REVISION: 04-APR -2024

PROJECT: 24-0422

07/08

SIMPSON STRONG-TIE 2-STEP 18-GAUGE
ZMAX GALVANIZED ADJUSTABLE STRINGER
CONNECTOR OR SIMILAR

STRINGERS IN STAIRS 16" O.C.

STRINGERS IN STAIRS 16" O.C.

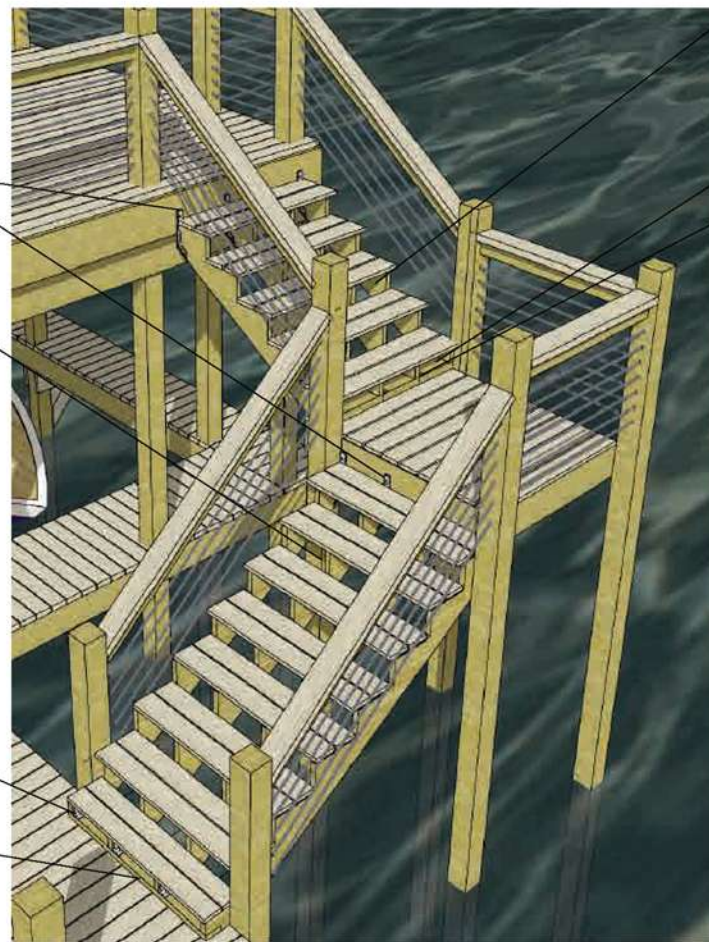
2-BY CLEAT ANCHORED
TO FLOOR BETWEEN STRNGERS

METAL FRAMING ANCHOR

METAL FRAMING ANCHOR

2-BY CLEAT ANCHORED
TO FLOOR BETWEEN STRNGERS

D12 STAIRS DETAIL
SCALE: NTS



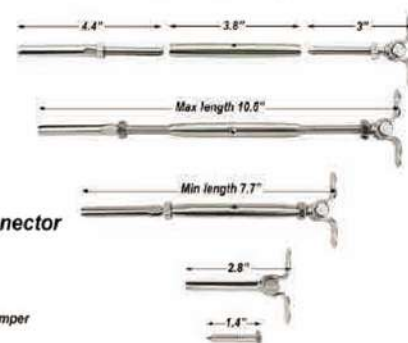
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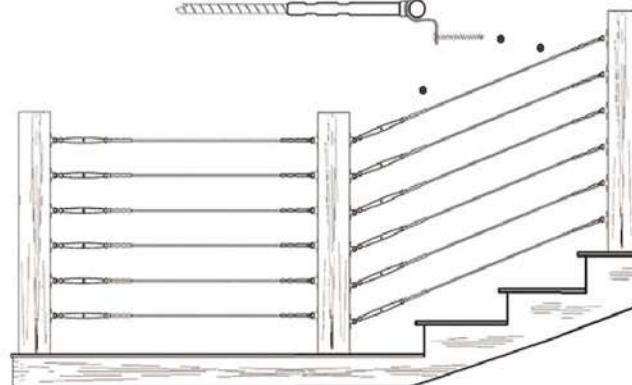
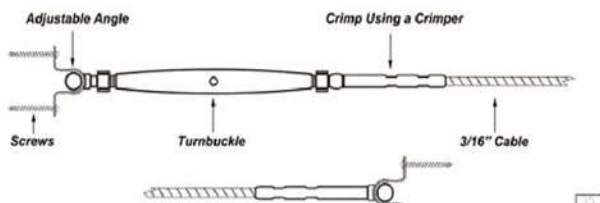
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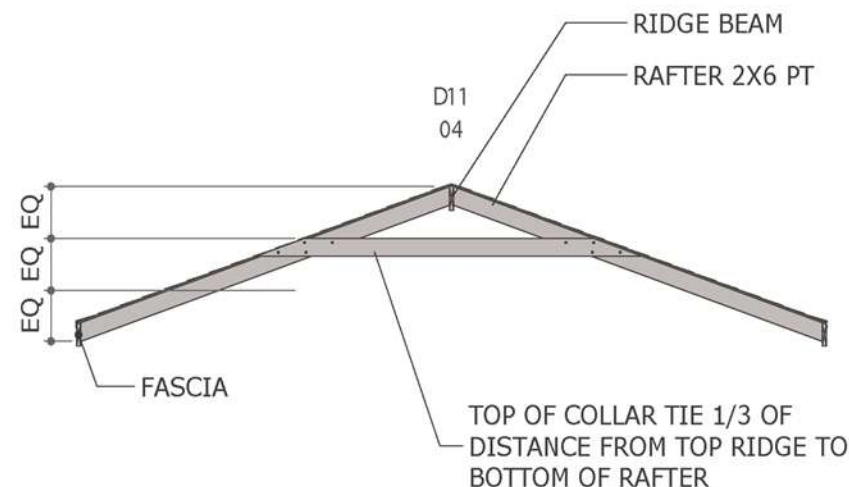
For 3/16" Wire Rope



Adjustable Angle Cable Railing Connector
(T316 Stainless steel)

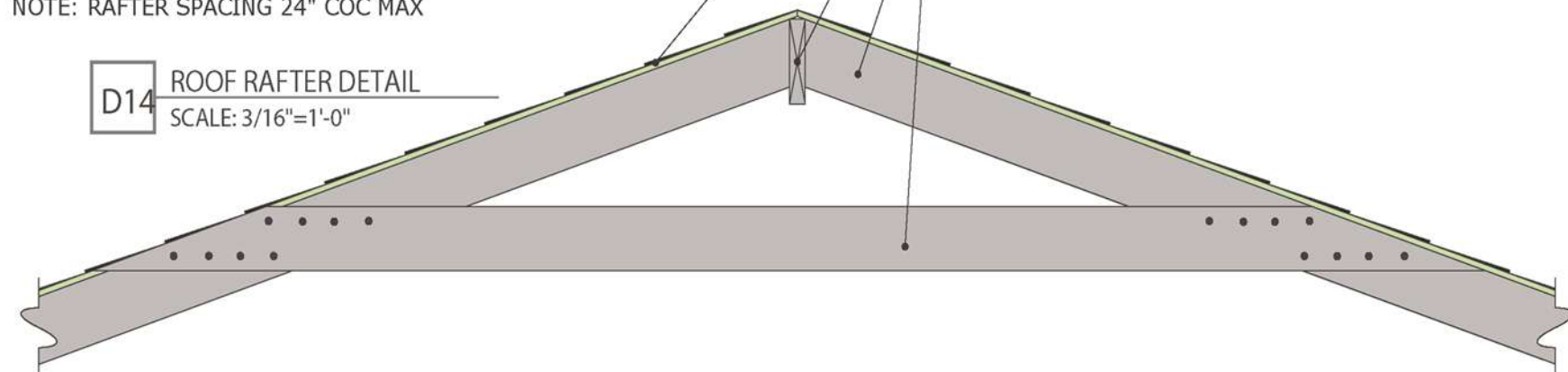


D13 CABLES DETAILS
SCALE:



NOTE: RAFTER SPACING 24" COC MAX

D14 ROOF RAFTER DETAIL
SCALE: 3/16"=1'-0"



D15 ROOF RIDGE DETAIL
SCALE: 3/4"=1'-0"



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ENGINEERING
William F. Stuhrke, PhD, P.E.
State of Florida PE # 22150
12215 Rebeccas Run Dr.
Winter Garden, FL 34787
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wfstuhrke@gmail.com

DETAILS (CONTD)

RELEASE: PERMIT

REVISION: 04-APR -2024

PROJECT: 24-0422

08/08



ENVIRONMENTAL PROTECTION DIVISION

Renée H Parker, LEP, Manager

3165 McCrory Place, Suite 200

Orlando, FL 32803

407-836-1400 • Fax 407-836-1499

www.ocfl.net

ORANGE COUNTY ENVIRONMENTAL PROTECTION COMMISSION September 24, 2025

ENVIRONMENTAL PROTECTION COMMISSION

Peter Fleck - *Chairman*

Kelly Eger-Smith- *Vice
Chairman*

Sergio Alvarez

Dawson Amico

Shan Atkins

Karin Leissing

J. Gordon Spears

Applicants: Julio A. Calderin and Sandra I. Deniz

Permit Application Number: BD-24-05-034-MOD2

Location/Address: 12598 Kirby Smith Road, Orlando, FL 32832

RECOMMENDATION: Accept the findings and recommendations of the Environmental Protection Officer, and make a finding that the request for variance is inconsistent with Section 15-350(c) and DENY the request for variance to Section 15-342(a)(5) (terminal platform size) to increase the allowable terminal platform size from 934 square feet to 1,382 square feet for the Julio A. Calderin and Sandra I. Deniz Request for Variance for Dock Construction Permit Modification BD-24-05-034-MOD2. District 4.

☒ EPC AGREES WITH THE ACTIONS REQUESTED, AS PRESENTED

☐ EPC DISAGREES WITH THE ACTION(S) REQUESTED, AS PRESENTED AND HAS MADE THE FOLLOWING RECOMMENDATION:

Signature of EPC Chair: _____

DATE EPC RECOMMENDATION RENDERED: _____

9-24-2025