



Interoffice Memorandum


Continue public hearing to
JUN 08 2021

Continue public hearing to
JUL 27 2021

April 2, 2021

To: Katie Smith, Manager
Comptroller Clerk's Office

Through: Cheryl Gillespie, Agenda Development Supervisor
Agenda Development

From: David D. Jones, P.E., CEP, Manager
Environmental Protection Division
(407) 836-1406 

**Staff Person: Elizabeth R. Johnson, CEP, Assistant Manager
Environmental Protection Division
(407) 836-1511**

Subject: Request for Public Hearing on May 18, 2021, at 2:00 p.m., for a Conservation Area Impact Permit Application (CAI-20-07-055) for wetland impacts associated with the construction of a stormwater retention pond located at the northwest corner of the intersection of Conway Road and McCoy Road, to serve a proposed Best Western Hotel. Portion of Parcel No. 29-23-30-0000-00-031, District 3

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Applicant: Orange County Investments LLC

Type of Hearing: Conservation Area Impact Permit Application

Hearing required by Florida Statute # or Code: Orange County Comprehensive Plan

Advertising requirements: None

Advertising timeframes: N/A

Abutters to be notified: The applicant and agent will be notified at least ten days prior to public hearing by the Environmental Protection Division (EPD). Notification of abutters is not necessary.

Estimated time required For public hearing: 2 minutes

Municipality or other Public Agency to be notified: St. Johns River Water Management District, Marc von Canal, mvoncana@sjrwmd.com

April 2, 2021

Request for Public Hearing – Best Western at OIA Retention Pond, Conservation Area Impact Permit Application (CAI-20-07-055)

Page 2

Hearing Controversial: No

District #: 3

Materials being submitted as backup for public hearing request:

1. Site Plan
2. Location Map

Special Instructions to Clerk:

1. Once the Board of County Commissioners makes a decision on the Conservation Area Impact Permit Application, please submit the decision letter to Liz Johnson with EPD. EPD will issue the decision to the applicant.

EL/NT/TMH/ERJ/DJ/gfdjr: erj

Attachments

Conservation Area Impact Permit Request

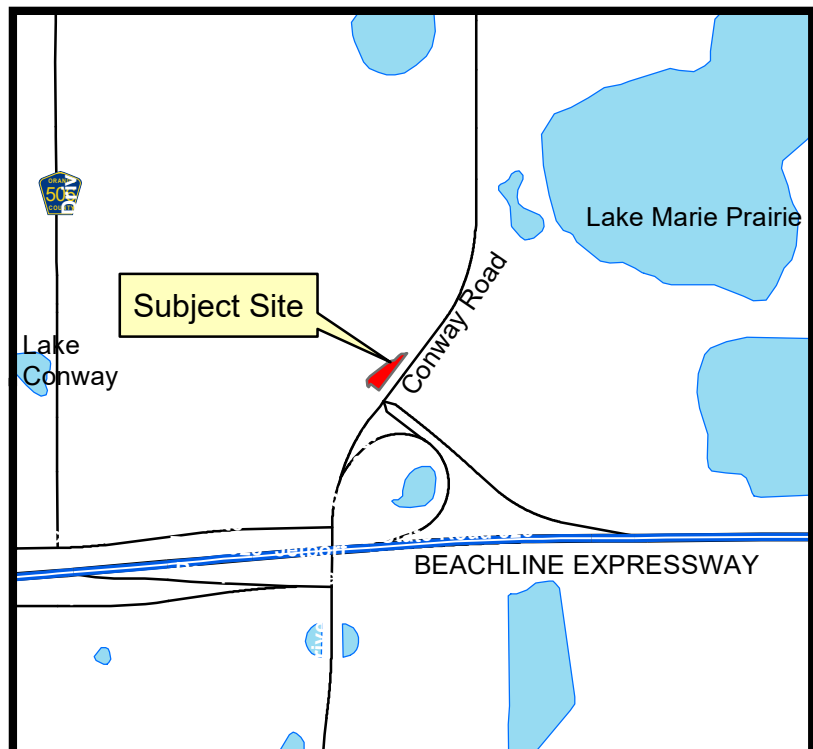


Conservation Area Impact Permit Request CAI-20-07-055 District #3

Applicants: Orange County Investments LLC
Address: Conway Road
Parcel ID: Portion of Parcel 29-23-30-0000-00-031

Project Site 

Property Location 



THESE PLANS RELATE TO THE CONWAY ROAD/HOFFNER AVENUE CORRIDOR OVERLAY DISTRICT, WHICH IS CODIFIED AT SECTION 38-1059 THROUGH SECTION 38-1065 OF THE ORANGE COUNTY CODE AND SECTION 62.498 OF THE CITY OF ORLANDO CODE.

CONSTRUCTION PLANS FOR

BEST WESTERN PREMIER AT OIA

29-23-30-5619-00-010, 29-23-30-5619-00-020, 29-23-30-0000-00-031

4315 McCOY ROAD
ORLANDO, FLORIDA 32812

SEE ORANGE COUNTY SPECIAL EXCEPTION CASE #SE-20-08-070 (APPROVED BY BOARD OF ZONING ADJUSTMENT JULY 2, 2020 AND THE BOARD OF COUNTY COMMISSIONERS ON JULY 28, 2020).

PLEASE SEE CITY OF ORLANDO MASTER PLAN MPL2020-10071 AND CONDITIONAL USE CUP2020-10012.

STATEMENT OF OWNERSHIP:

THE PROPERTY AND ALL IMPROVEMENTS AS SHOWN ARE OWNED AND SHALL BE MAINTAINED BY CONWAY ORLANDO INVESTMENTS, LLC.

GENERAL STATEMENT:

THE CHARACTER AND INTENDED USE OF THIS DEVELOPMENT SHALL BE THE CONSTRUCTION OF A 110 ROOM HOTEL ALONG WITH THE ASSOCIATED UTILITIES, PARKING, ACCESS ROADS AND WATER MANAGEMENT FACILITIES.

SITE DATA:

PROJECT NAME: BEST WESTERN PREMIER AT OIA
ADDRESS: 4315 McCOY ROAD ORLANDO, FL 32812
OWNER ADDRESS: 1623 NW 1ST AVENUE Ocala, FL 34475
TELEPHONE: (407) 701-7763

ZONING/LAND USE DATA:

ZONING: MU-1/RP/AN/SP
PROPOSED USE: 110 ROOM HOTEL
NUMBER OF STORIES: FOUR
MAX. BUILDING HEIGHT: 55'-0"
FAR: 0.607 (0.477 WITH LOT 3 INCLUDED)
BUILDING COVERAGE: 15.19%
PHASING: ONE PHASE
VEGETATION: WETLANDS
WATER SERVICE: ORLANDO UTILITIES COMMISSION (OUC)
WASTEWATER SERVICE: CITY OF ORLANDO
SOILS: 40-SAMSULA MUCK 41-SAMSULA-HONTOON-BASINGER ASSOCIATION-DEPRESSIONAL
STORMWATER MANAGEMENT: PROPOSED OFF-SITE RETENTION POND
FIRE: CITY OF ORLANDO FIRE STATION #8
SOLID WASTE: PRIVATE
SITE AREA: 98,841 SF = 2.269 ACRES
IMPERVIOUS: 46,994 SF = 1.079 ACRES AT 47.55%
BUILDING: 15,010 SF = 0.344 ACRES AT 15.19%
PAVEMENT/SIDEWALKS: 31,984 SF = 0.734 ACRES AT 32.36%
OPEN SPACE: 51,847 SF = 1.190 ACRES AT 52.45%

SETBACKS/BUFFERS:

FRONT (McCOY ROAD) (SOUTH): 25 FEET/7.5 FEET
REAR (NORTH): 25 FEET/NA
SIDE (CONWAY ROAD) (WEST): 25 FEET/7.5 FEET
SIDE (EAST): 25 FEET/7.5 FEET

PARKING REQUIREMENTS:

PARKING REQUIRED:
HOTEL: 0.5/ ROOM PLUS 0.5/MEETING SEAT PLUS 5/1000 SF LOUNGE (0.5)(110) + (0.5)(14) + (5)(1,400)/1,000 = 55 + 7 + 7 = 69
TOTAL: 69 SPACES
REGULAR SPACES PROVIDED: 67
HANDICAPPED SPACES PROVIDED: 3
TOTAL SPACES PROVIDED: 70 SPACES
TWO-WHEELED VEHICLE SPACES PROVIDED: 2 SPACES

UTILITY COMPANIES:

POWER: DUKE ENERGY 8407 BOOBY CREEK ROAD ORLANDO, FL 32824 (407) 850-2766
SEWER: ORANGE COUNTY UTILITIES 9150 CURRY FORD ROAD ORLANDO, FL 32825 (407) 254-9900
WATER: ORLANDO UTILITIES COMMISSION (OUC) 3800 GARDENIA AVENUE ORLANDO, FL 32839 (407) 649-4415
TELEPHONE: ATT/BELL-SOUTH 500 NORTH ORANGE AVENUE ORLANDO, FL 32801 (407) 780-2800
GAS: TECO PEOPLES GAS 600 WEST ROBINSON STREET ORLANDO, FL 32802 (407) 466-4428



LOCATION MAP

NTS
SECTION 29, TOWNSHIP 23, RANGE 30

OWNER:
CONWAY ORLANDO INVESTMENTS, LLC

MR. MEG REDDY
1623 NW 1ST AVENUE
OCALA, FL 34475
(407) 701-7763

ENGINEER:

MITCH COLLINS, P.E., INC.
801 E. SOUTH STREET
ORLANDO, FL 32801
(407) 850-8557

ARCHITECT:

ARCHITECTURAL DESIGN AND ASSOCIATES, INC.
801 S. YONGE STREET, SUITE 4
ORLANDO BEACH, FL 32174
(386) 676-2686

SURVEYOR:

ASSOCIATED LAND SURVEYING AND MAPPING, INC.
1681 POWELL STREET
LONGWOOD, FL 32750
(407) 869-5002

LANDSCAPE ARCHITECT:

PLACEMAKER DESIGN STUDIO, LLC
415 PLAZA DRIVE
DUNEDIN, FL 34698
(727) 726-6124

received
12/21/20

mitch collins, pe, inc.
801 east south street | p. 407.850.8557
orlando, fl 32801 | c. 407.448.8979
mitchcollins@earthlink.net

LEGAL DESCRIPTION:

PARCELS IN CITY JURISDICTION:

LOTS 1 AND 2, McCOY ROAD SUBDIVISION, AS RECORDED IN PLAT BOOK 55, PAGE 97 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL IN COUNTY JURISDICTION:

A PORTION OF SECTION 29, TOWNSHIP 23 SOUTH, RANGE 30 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 23 SOUTH, RANGE 30 EAST, ORANGE COUNTY, FLORIDA, THENCE RUN N 89°50'48" E ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 29 A DISTANCE OF 661.52 FEET; THENCE DEPARTING SAID NORTH LINE RUN N 00°21'13" W ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 29 A DISTANCE OF 665.99 FEET; THENCE RUN N 89°42'21" E ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 29 A DISTANCE OF 606.58 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF CONWAY ROAD EXTENSION AS RECORDED IN OFFICIAL RECORDS BOOK 4221, PAGE 719 AND OFFICIAL RECORDS OF ORANGE COUNTY, FLORIDA, THENCE RUN THE FOLLOWING FIVE (5) COURSES AND DISTANCES ALONG SAID WEST RIGHT-OF-WAY LINE: SAID POINT ALSO BEING A POINT ON A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 1223.24 FEET, AN INCLUDED ANGLE OF 69°40'56", A CHORD BEARING OF S 10°04'08" W AND A CHORD DISTANCE OF 208.48 FEET, RUN 288.33 FEET ALONG THE ARC OF SAID CURVE TO (2) A POINT OF CURVATURE OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 1034.00 FEET, AN INCLUDED ANGLE OF 21°11'00", A CHORD BEARING OF S 28°28'51" W AND A CHORD DISTANCE OF 380.12 FEET, RUN 382.28 FEET ALONG THE ARC OF SAID CURVE TO THE POINT OF TANGENCY THEREOF; (3) THENCE RUN S 37°04'22" W, A DISTANCE OF 739.00 FEET; (4) THENCE RUN S 52°19'35" E, A DISTANCE OF 1318 FEET; (5) TO A POINT ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 1302.67 FEET, AN INCLUDED ANGLE OF 27°07'14", A CHORD BEARING OF S 27°07'14" W AND A CHORD DISTANCE OF 464.47 FEET, RUN 445.97 FEET ALONG THE ARC OF SAID CURVE TO THE MOST EASTERLY CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 11032, PAGE 327, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN THE FOLLOWING FIVE (5) COURSES AND DISTANCES ALONG SAID LANDS: (1) RUN S 89°29'44" W, A DISTANCE OF 20.13 FEET; (2) THENCE RUN S 00°20'19" E, A DISTANCE OF 10.00 FEET; (3) THENCE RUN S 89°29'19" W, A DISTANCE OF 160.65 FEET; (4) THENCE RUN N 00°13'56" W, A DISTANCE OF 335.98 FEET TO THE NORTHEASTERLY CORNER OF SAID LANDS; (5) THENCE ALONG THE NORTHERLY LINE OF SAID LANDS RUN S 89°29'45" W, A DISTANCE OF 228.91 FEET TO THE NORTHWEST CORNER THEREOF AND A POINT ON THE WEST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 29, THENCE RUN N 00°13'56" W ALONG SAID WEST LINE A DISTANCE OF 540.40 FEET TO THE POINT OF BEGINNING, CONTAINING 828,770 SQUARE FEET OR 19.03 ACRES MORE OR LESS.

LESS:

A PORTION OF SECTION 29, TOWNSHIP 23 SOUTH, RANGE 30 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 23 SOUTH, RANGE 30 EAST, ORANGE COUNTY, FLORIDA, THENCE ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 29 RUN S00°7'50"E, 340.40 FEET; THENCE DEPARTING SAID WEST LINE, RUN N89°49'47"E, 228.91 FEET TO THE POINT OF BEGINNING; THENCE RUN N89°49'47"E, 228.91 FEET; THENCE RUN N89°49'47"E, 228.91 FEET; THENCE RUN N89°49'47"E, 228.91 FEET TO A POINT ON THE WESTERN RIGHT-OF-WAY LINE OF CONWAY ROAD EXTENSION AS RECORDED IN OFFICIAL RECORDS BOOK 4221, PAGE 719, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, THENCE ALONG SAID RIGHT-OF-WAY LINE RUN S27°04'22"W, 173.12 FEET; THENCE RUN S27°04'22"W, 15.16 FEET TO A POINT ON THE WESTERN RIGHT-OF-WAY LINE OF CONWAY ROAD EXTENSION AS RECORDED IN OFFICIAL RECORDS BOOK 4221, PAGE 719, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, SAID POINT BEING ON A NON-TANGENT CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 1034.00 FEET, A CENTRAL ANGLE OF 21°11'00", A CHORD BEARING OF S 28°28'51" W AND A CHORD DISTANCE OF 464.47 FEET; THENCE RUN 445.97 FEET ALONG THE ARC OF SAID CURVE AND SAID WESTERN RIGHT-OF-WAY LINE TO THE MOST EASTERLY CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 11032, PAGE 327, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE DEPARTING SAID RIGHT-OF-WAY LINE AND ALONG SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 11032, PAGE 327, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, RUN THE FOLLOWING FOUR (4) COURSES AND DISTANCES, (1) THENCE RUN S89°29'19"W, 160.65 FEET; (2) THENCE RUN S89°29'19"W, 160.65 FEET; (3) THENCE RUN S89°29'19"W, 160.65 FEET; (4) THENCE RUN S89°29'19"W, 160.65 FEET TO THE POINT OF BEGINNING, CONTAINING 129,943 SQUARE FEET OR 2.983 ACRES MORE OR LESS.

CONTAINING 698,827 SQUARE FEET OR 16.043 ACRES MORE OR LESS TOTAL.

INDEX OF DRAWINGS

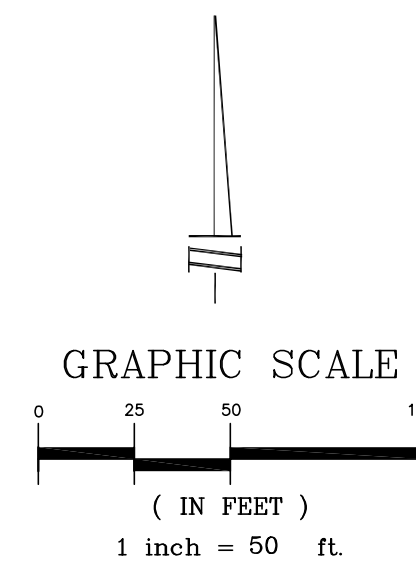
SHT. NO.	DESCRIPTION
	COVER SHEET
1	BOUNDARY AND TOPOGRAPHIC SURVEY
1	SURVEY-OFF SITE
2	SURVEY-OFF SITE (CONTINUED)
D-1	DEMOLITION PLAN
C-1	SITE LAYOUT PLAN
C-1A	WETLAND IMPACT PLAN
C-2	GRADING AND DRAINAGE PLAN
C-2A	FLOODZONE IMPACT PLAN
C-3	EROSION CONTROL PLAN
C-4	WATER UTILITY PLAN
C-4A	WATER MAIN PLAN/PROFILE
C-5	SANITARY UTILITY PLAN
C-5A	FORCE MAIN PLAN/PROFILE
C-5B	FORCE MAIN PLAN/PROFILE (CONTINUED)
C-6	DETAILS AND NOTES
C-7	DETAILS AND NOTES
C-8	DETAILS AND NOTES
C-9	DETAILS AND NOTES
C-10	LIFT STATION DETAIL
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN (CONTINUED)
L3	LANDSCAPE NOTES/PLANT SCHEDULE
L4	LANDSCAPE DETAILS
IR1	IRRIGATION PLAN
IR2	IRRIGATION PLAN (CONTINUED)
IR3	IRRIGATION PLAN (CONTINUED)
IR4	IRRIGATION NOTES AND DETAILS
IR5	IRRIGATION DETAILS



THIS HAS BEEN ELECTRONICALLY SIGNED AND VERIFIED USING A DIGITAL SIGNATURE AND DATE PRINTED COPIES OF THIS DOCUMENT ARE VALID AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
MITCH COLLINS, P.E. # 54808
STATE OF FLORIDA, C.A.F. 9523

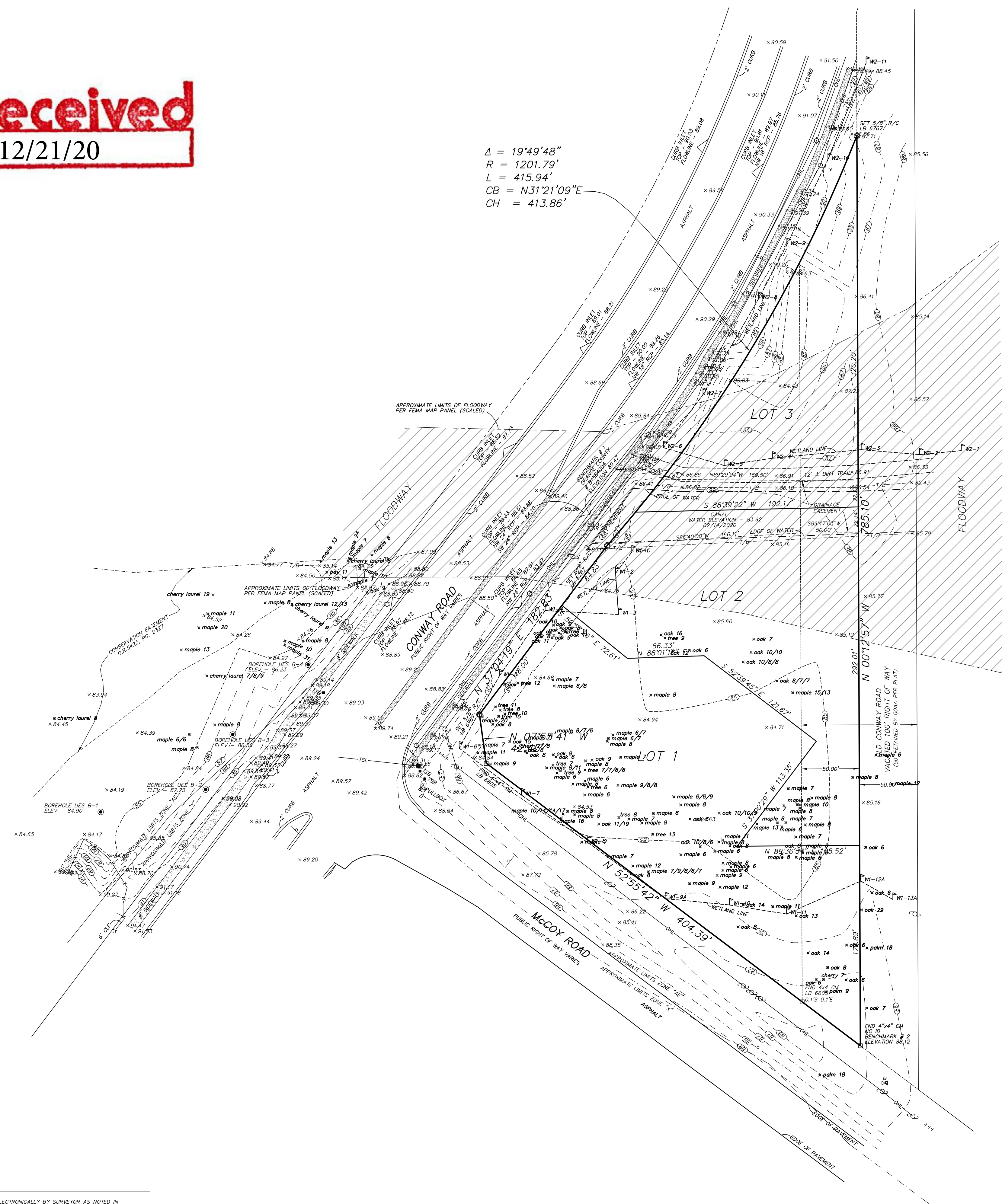
received
12/21/20

$\Delta = 19^{\circ}49'48''$
 $R = 1201.79'$
 $L = 415.94'$
 $CB = N31^{\circ}21'09''E$
 $CH = 413.86'$



LEGEND

- FOUND - FOUND
- 5/8" REBAR AND CAP
- NAIL AND 1" BRASS DISC
- CONCRETE MONUMENT
- IRON PIPE
- FLAT
- MEASURED
- OVERHEAD UTILITY LINE
- INVERT
- LICENSED BUSINESS
- REGISTERED LAND SURVEYOR
- PAGE
- TOP OF BANK
- CHAIN LINK FENCE
- TRAFFIC SIGNAL BOX
- STORM MANHOLE
- SANITARY MANHOLE
- WATER VALVE
- WETLAND FLAG
- UTILITY POLE
- LIGHT POLE



LEGAL DESCRIPTION PROVIDED BY CLIENT

LOTS 1, 2 AND 3, MCCOY ROAD SUBDIVISION, AS RECORDED IN PLAT BOOK 55, PAGE 97 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

SURVEYOR'S REPORT/NOTES:

- 1) SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 2) DISTANCES SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- 3) UNLESS NOTED OTHERWISE, NO UNDERGROUND IMPROVEMENTS, FOUNDATIONS/FOOTERS OR ROOF OVERHANGS HAVE BEEN LOCATED. ENVIRONMENTAL CONDITIONS AND GOVERNMENTAL REQUIREMENTS NOT DETERMINED BY SURVEYOR.
- 4) SYMBOLS NOT TO SCALE.
- 5) THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1" = 50'.
- 6) BUILDING TIES ARE NOT TO BE USED TO CONSTRUCT DEED OR PLATTED LINES
- 7) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, USES, OWNERSHIP OR MATTERS OF RECORD BY THIS FIRM.
- 8) BEARINGS SHOWN HEREON ARE BASED ON THE NORTH RIGHT-OF-WAY LINE OF MCCOY ROAD BEING N 52°35'42" W PER THE RECORD PLAT.
- 9) PROPERTY SHOWN HEREON LIES IN FLOOD ZONES "X" & "AE" ACCORDING TO F.I.R.M. MAP PANEL No. 12095C0245 F, DATED SEPTEMBER 25, 2009. THE FLOOD INSURANCE RATE MAP IS NOT A SURVEY. FLOOD ZONE DETERMINATION IS AN OPINION ONLY.
- 10) ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE BENCHMARK # B1584004, HAVING AN ELEVATION OF 89.47 (NAVD88 DATUM).
- 11) WETLAND FLAGS PER AUSTIN ENVIRONMENTAL CONSULTANTS, INC. AND FIELD LOCATED BY THIS FIRM.
- 12) TREES WERE NOT LOCATED NORTH OF FLOODWAY.
- 13) FOR PURPOSES OF THIS SURVEY TREES 6" AND LARGER WERE LOCATED PER CLIENT'S REQUEST.

ELECTRONIC FILE:
IF THIS FILE WAS SIGNED ELECTRONICALLY BY SURVEYOR AS NOTED IN SIGNATURE BLOCK ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

LIMITATION OF LIABILITY:
RELIANCE ON THIS SURVEY IS RESTRICTED TO THOSE PARTIES LISTED AS "CERTIFIED TO" ON THE FACE OF THIS SURVEY.

NOTICE OF COPYRIGHT:
ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

BOUNDARY & TOPOGRAPHIC SURVEY
LOTS 1, 2 & 3, MCCOY ROAD SUBDIVISION
ORANGE COUNTY, FLORIDA
CITY OF ORLANDO

11-3-2020- ADDED TREES
 08-11-2020- REVISED WETLAND LOCATIONS
 06-22-2020- ADDED ADDITIONAL TOPO AND LOCATIONS
 02/14/2020- BOUNDARY AND TOPOGRAPHIC SURVEY

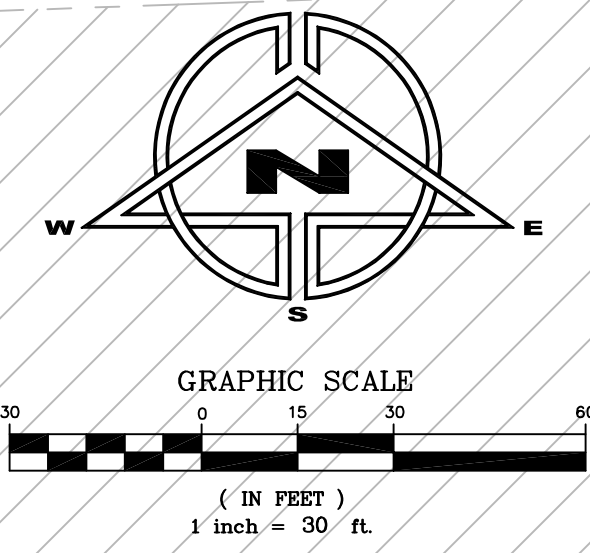
DR. REDDY

Associated Land Surveying & Mapping, Inc.
 1681 POWELL ST. LONGWOOD, FLORIDA 32750
 TEL: 407-882-1111
 FAX: 407-882-1112
 WWW.ALSMAPPING.COM

SCALE: 1" = 50'
 DRAWING NO. 000266wg
 JOB NO. 20002
 SURVEY DATE 05/22/2020

I, David H. Mazerott, Certificate No. 479, State of Florida, Registered Professional Surveyor and Mapper, do hereby certify that I am the author of this survey and that it was made by me or under my direct supervision and that I am a duly licensed and registered professional surveyor and mapper in the State of Florida.

SHEET NO. 1 of 1



- CITY OF ORLANDO R/W NOTES:**
- ANY SIDEWALKS OR CURBING DESTROYED BY THE WORK SHALL BE RESTORED TO THE CONDITION OF THE ORIGINAL STRUCTURE. SIDEWALK PANELS SHALL BE RESTORED TO FULL PANEL WIDTHS AND LENGTHS (DEFINED BY EDGES OF THE SIDEWALK AND THE NEAREST CONTROL JOINTS OR EXPANSION JOINTS). PARTIAL PATCHING OF SIDEWALKS SHALL NOT BE ACCEPTABLE. PAVEMENT FINISHES, THICKNESSES, AND GRADES SHALL MATCH THE EXISTING SIDEWALK.
 - TRENCHING SHALL NOT TAKE PLACE WITHIN THE ROOT ZONE OF TREES WITH A TRUNK DIAMETER OF 6 INCHES OR LARGER. UNDERGROUND UTILITIES MUST BE TUNNELED RATHER THAN TRENCHED IN THE ROOT ZONES OF EXISTING TREES (EXCLUDING PALMS).
 - LOCATE ALL UTILITIES/FACILITIES PRIOR TO START OF CONSTRUCTION.
 - THE CONTRACTOR MUST LOCATE AND PROTECT ALL THE UTILITIES AND REPAIR ANY DAMAGE CAUSED BY THE WORK AT NOT COST OF THE CITY.
 - ALL UTILITY LOCATE MARKINGS MUST BE COMPLETELY CLEARED AROUND THE AREA OF THE PERMITTED PROJECT AT THE CONTRACTOR'S EXPENSE.
 - PUBLIC RIGHT-OF-WAY SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITION.
 - CURRENT A.D.A. STANDARDS SHALL BE UPHOLD AT ALL TIMES.
 - ALL CHANGES (NOTES)/DIRECTIONAL BORES SHALL EXTEND A MINIMUM OF SIX FEET (6') BEYOND EACH EDGE OF PAVEMENT. (COMMERCIAL DRIVEWAYS, SIDEWALKS INCLUDED).
 - CASING WILL BE REQUIRED FOR UNDERGROUND UTILITIES CROSSING UNDER EXISTING PAVEMENT.
 - A MINIMUM 1' CLEAR DISTANCE BETWEEN BACK OF EXISTING CURB INLET AND PROPOSED UNDERGROUND CONDUIT IS REQUIRED. PLEASE MODIFY PLAN TO SHOW THIS MODIFICATION.
 - MINIMUM COVER OF 36" SHALL BE MAINTAINED WHILE HORIZONTAL DIRECTIONAL BORE ACROSS ROADWAYS AND DRIVEWAYS AND ALL UTILITY LINES.
 - THE CITY OF ORLANDO'S GUIDELINES FOR EROSION SEDIMENT CONTROL (COMMONLY KNOWN AS THE BLUE SHEET) WILL SERVE AS A GUIDE FOR THE IMPLEMENTATION OF EROSION SEDIMENT CONTROL MEASURES.

CANAL

CANAL

PORTION OF PROJECT IN CITY OF ORLANDO JURISDICTION (EXCEPT FOR PROPOSED SANITARY SEWER WORK)

MOT FOR THIS AREA TO BE DONE PER FDOT STANDARD PLAN INDEX 102-613

PORTION OF PROJECT IN ORANGE COUNTY JURISDICTION

PROPOSED POND

CONWAY ROAD
(R/W WIDTH VARIES)

MCCOY ROAD
(R/W WIDTH VARIES)

PROPOSED HOTEL
(FOUR FLOORS, 110 ROOMS)
E.F. ELEVATION 91.00

- KEY NOTES:**
- REMOVE EXISTING CURB AND GUTTER AND INSTALL NEW VALLEY GUTTER (SEE DETAIL, SHEET C-6) (SEE PLAN SHEET D-1)
 - CONNECT TO EXISTING CURB AND GUTTER (CONNECT AT NEAREST EXISTING JOINT)
 - EXISTING 5' WIDE CONCRETE SIDEWALK
 - CONNECT TO EXISTING SIDEWALK (CONNECT AT NEAREST EXISTING JOINT)
 - PROPOSED CURB CUT RAMP PER FDOT STANDARD PLANS INDEX 522-002, CR-F (SEE DETAIL, SHEET C-6) (INCLUDE RED CAST-IN-PLACE DETECTABLE WARNING MAT)
 - PROPOSED FDOT TYPE "F" CURB AND GUTTER (TYP) (SEE DETAIL, SHEET C-6)
 - RELOCATED LIGHTPOLE (SEE PLAN SHEET D-1)
 - PROPOSED "SPECIAL EMPHASIS" CROSS-WALK PER FDOT STANDARD PLANS INDEX 711-001 (12" WHITE THERMOPLASTIC RAILS AT 6" ON CENTER WITH 24" WHITE THERMOPLASTIC RUNGS)
 - PROPOSED CONCRETE PAVEMENT (SEE DETAIL, SHEET C-6)
 - PROPOSED R1-1 (SEE DETAIL, SHEET C-1) AND 24" WIDE THERMOPLASTIC STOP BAR (PROVIDE 5' MINIMUM SEPARATION BETWEEN STOP BAR AND PROPOSED CROSS-WALK)
 - PROPOSED R6-1R "ONE WAY" SIGN
 - PROPOSED VERTICAL CURBING AND RAILING ADJACENT TO PARKING/DRIVE AISLE (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION)
 - PROPOSED RAILING ADJACENT TO SIDEWALK/AMENITIES DECK (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION)
 - PROPOSED 5' WIDE CONCRETE SIDEWALK (SEE DETAIL, SHEET C-6)
 - PROPOSED ELEVATED PARKING DECK (INCLUDING SIDEWALK/DUMPSTER ENCLOSURE AREAS) (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION)
 - INCLUDE FTP-54R-06 RIGHT TURN ONLY SIGN (SEE FDOT STANDARD PLANS INDEX 700-102, SHEET 7 OF 11)
 - PROPOSED WHEELSTOP (SEE DETAIL, SHEET C-6)
 - PROPOSED FDOT TYPE "D" CURBING (SEE DETAIL, SHEET C-6)
 - PROPOSED RED, CAST-IN-PLACE DETECTABLE WARNING MAT AT THIS LOCATION
 - PROPOSED 6" YELLOW THERMOPLASTIC STRIPING
 - TRANSITION CURB DOWN AT 2:1 AT THIS LOCATION
 - PROPOSED 6" WIDE PAINTED AREA (RED) WITH 6" WHITE THERMOPLASTIC STRIPING AT 6" ON CENTER
 - PROPOSED HANDICAP SPACE (TYP-3) (SEE DETAIL, SHEET C-6)
 - PROPOSED HANDICAP SIGN (TYP-3) (SEE DETAIL, SHEET C-6) (SIGN BASE SHALL EXTEND TO NATURAL GROUND OR BE ATTACHED TO PARKING DECK)
 - PROPOSED STRIPING PER FDOT STANDARD PLANS INDEX 711-001 (TYP)
 - PROPOSED 6' HIGH MASONRY DUMPSTER ENCLOSURE (SEE DETAIL ON THIS PLAN SHEET FOR ADDITIONAL INFORMATION) (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION)
 - PROPOSED BICYCLE RACK w/ ROOM FOR 6 BIKES (PER CITY CRITERIA) (SEE DETAIL, SHEET C-6)
 - PROPOSED TRANSFORMER PAD LOCATION (SEE SITE ELECTRICAL PLANS FOR EXACT LOCATION AND ADDITIONAL INFORMATION)
 - PROPOSED 10'x3' MOTORCYCLE PARKING SPACES WITH TWO "MOTORCYCLE PARKING ONLY" SIGNS
 - PROPOSED ELEVATED CONCRETE WALKWAY (5' WIDE MINIMUM) (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION)
 - PROPOSED SIGN LOCATION (SEE PLANS BY OTHERS) (EXACT LOCATION AND SIGN DESIGN TO BE PERMITTED SEPARATELY)
 - SIGHT VISIBILITY LINE
 - PROVIDE 6" WIDE BREAK IN CURBING AT THIS LOCATION
 - PROPOSED FIRE PIT (SEE ARCHITECTURAL INFORMATION)
 - PROPOSED RED, DETECTABLE WARNING MAT AT THIS LOCATION
 - 6" WIDE ADA AISLE IN THIS AREA
 - PROPOSED LIGHTPOLE (TYP) (SEE SITE LIGHTING PLAN)

SIGN LEGEND

NO.	TEXT	SYMBOL	SIZE
R1-1	STOP		30"x30"
R3-1	NO RIGHT TURN		24"x24"
R5-1	DO NOT ENTER		30"x30"
R6-1	ONE WAY	(SEE INDEX)	36"x12"
R3-7	LEFT LANE MUST TURN LEFT	(SEE INDEX)	30"x30"

ALL SIGNS SHALL CONFORM W/F.D.O.T. MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES, 91.39"

SITE LEGEND

	HANDICAP PARKING
	PROPOSED DRAINAGE INLET
	PROPOSED CURB
	SITE BOUNDARY LINE
	EXISTING EASEMENT (DEPICTED ON PLAN)
	PROPOSED EASEMENT (DEPICTED ON PLAN)
	CENTER LINE OF ROAD
	EXISTING EDGE OF PAVEMENT
TYP	TYPICAL
HC	HANDICAP
	# OF PARKING SPACES
S/W	SIDEWALK
RS'	5' RADIUS
L.F.	LINEAR FEET
S.F.	SQUARE FEET
B.O.C.	BACK OF CURB
	ELEVATED DECK
	CONCRETE AT GRADE

received
12/21/20

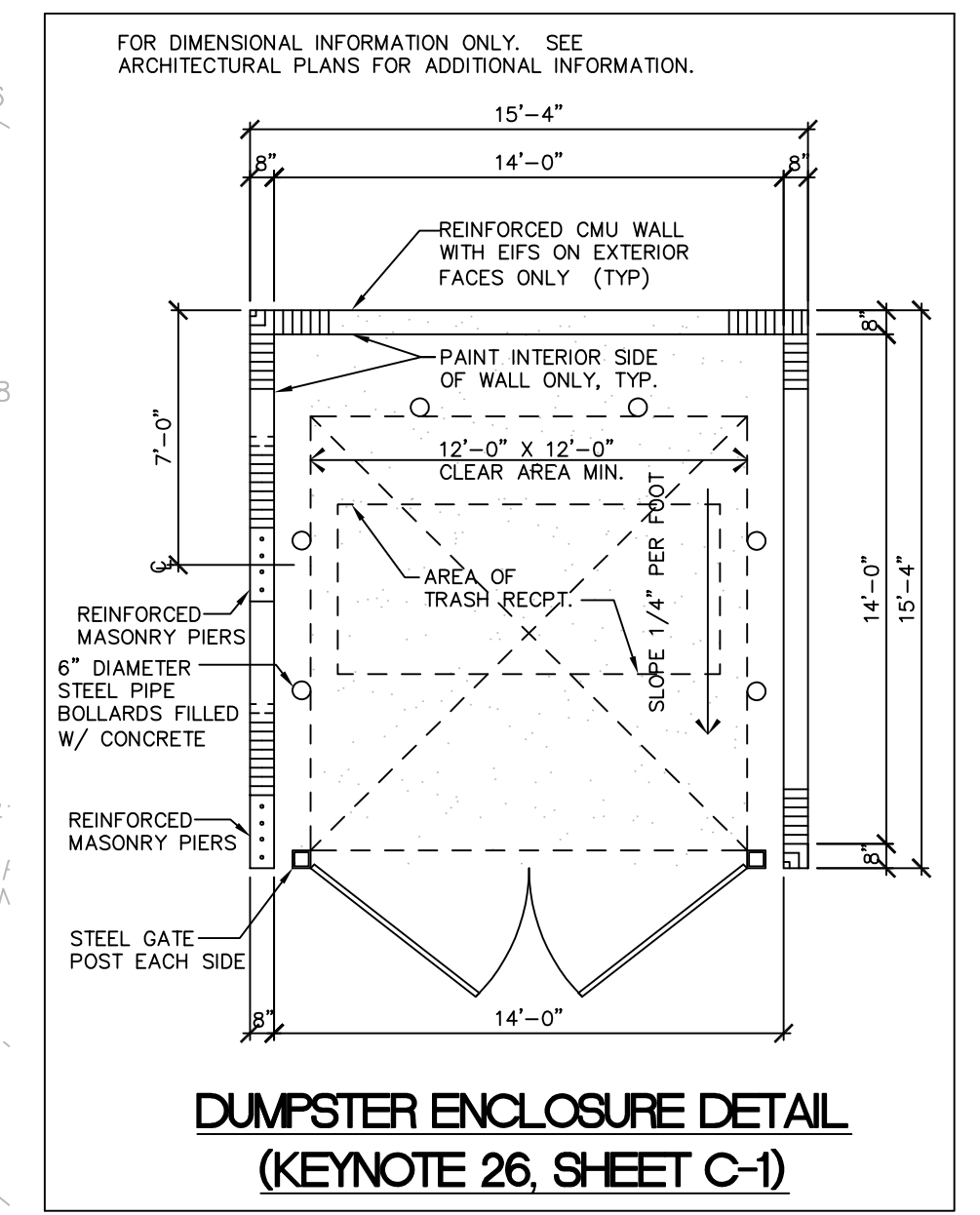
ALL DETECTABLE WARNING MATS SHALL BE ARMOR TILE (OR APPROVED ALTERNATE) CAST IN PLACE ONLY. SURFACE-MOUNTED DETECTABLE WARNING MATS WILL NOT BE ACCEPTED.

INSTALL EXPANSION AND CONTROL JOINTS FOR ALL PROPOSED SIDEWALKS PER SIDEWALK DETAIL ON PLAN SHEET C-6.

TYPICAL PARKING SPACE SHALL BE STRIPED WITH 6" WHITE STRIPING.

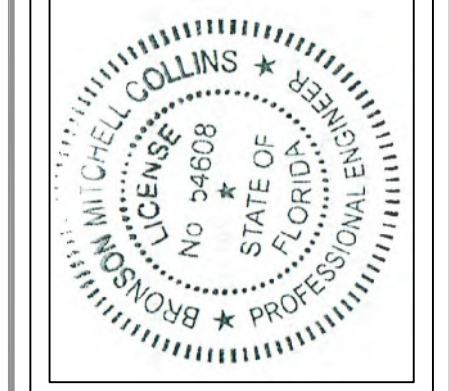
ALL PARKING SPACES, OTHER THAN HANDICAP SPACES AND COMPACT SPACES SHALL BE 9' WIDE.

ALL RADII SHALL BE 5' UNLESS OTHERWISE NOTED.



REV/DATE	BY
9-24-20	M.C.
12-21-20	M.C.

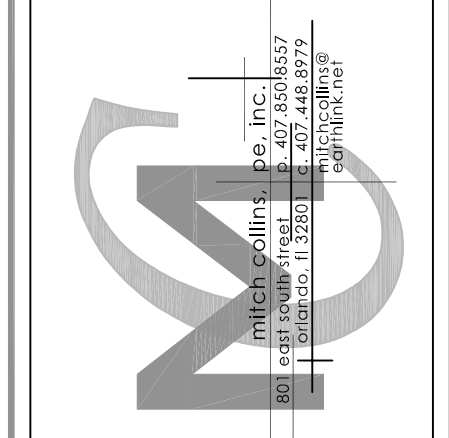
SITE LAYOUT PLAN
FOR
BEST WESTERN PREMIER AT OIA
ORLANDO, FLORIDA
4315 MCCOY ROAD



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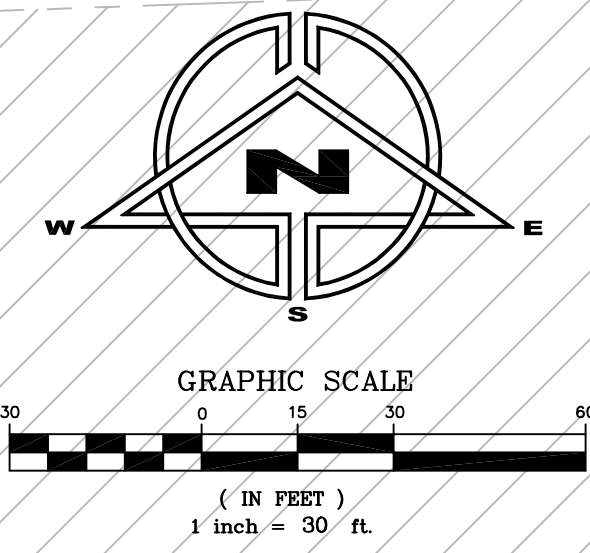
MITCHELL COLLINS, P.E. # 24608
STATE OF FLORIDA, C.A.# 9523

DATE: _____



DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	4-17-20
SCALE:	1" = 30'
JOB NO:	219-035
SHEET NO:	C-1 OF C-10

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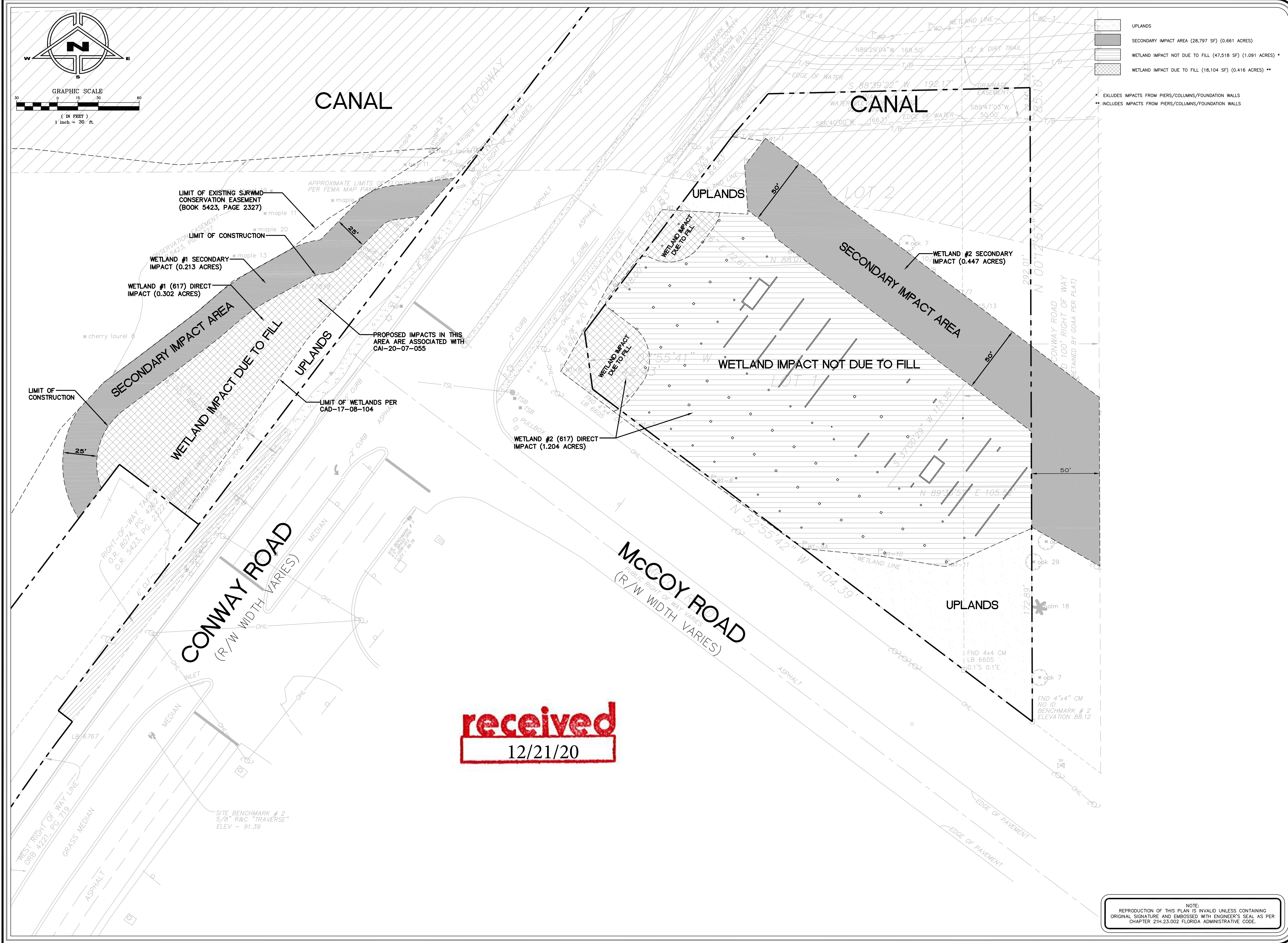


UPLANDS	
SECONDARY IMPACT AREA (28,797 SF) (0.661 ACRES)	
WETLAND IMPACT NOT DUE TO FILL (47,518 SF) (1.091 ACRES) *	
WETLAND IMPACT DUE TO FILL (18,104 SF) (0.416 ACRES) **	

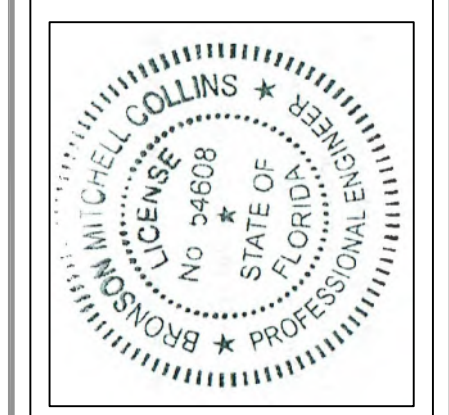
* EXCLUDES IMPACTS FROM PIERS/COLUMNS/FOUNDATION WALLS
 ** INCLUDES IMPACTS FROM PIERS/COLUMNS/FOUNDATION WALLS

REV/DATE	BY
9-24-20	M.C.
12-21-20	M.C.

WETLAND IMPACT EXHIBIT
 FOR
BEST WESTERN PREMIER AT OIA
 ORLANDO, FLORIDA
 4315 MCCOY ROAD

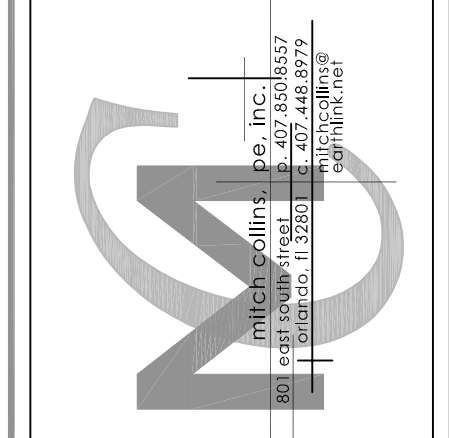


received
12/21/20



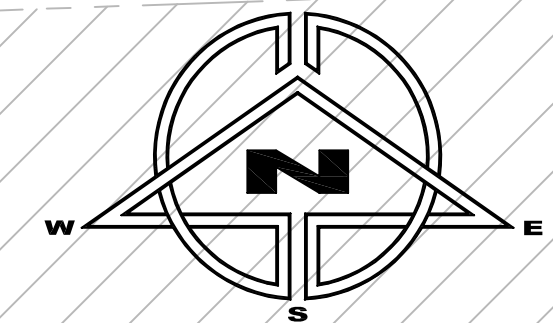
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MITCHELL COLLINS, P.E. # 24608
 STATE OF FLORIDA, C.A.# 9523
 DATE



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CHECKED BY:	M.C.
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SHEET NO:	C-1A OF C-1D

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ALL TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY ASSOCIATED LAND SURVEYING AND MAPPING, INC. DATED 2-14-2020, USING DATUM 1988 (NAVD).

ALL MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE ELEVATED NO LOWER THAN ONE FOOT ABOVE THE BASE FLOOD ELEVATION OR FLOODPROOFED.

ALL ROOF DRAINS SHALL CONNECT TO PROPOSED UNDERGROUND STORM SYSTEM. SEE PLUMBING PLANS FOR DETAILS.

EXTENSIVE SITE PREPARATION WORK SHALL BE REQUIRED. PLEASE SEE REPORTS BY UNIVERSAL ENGINEERING DATED 1/13/17 AND 12/13/17.

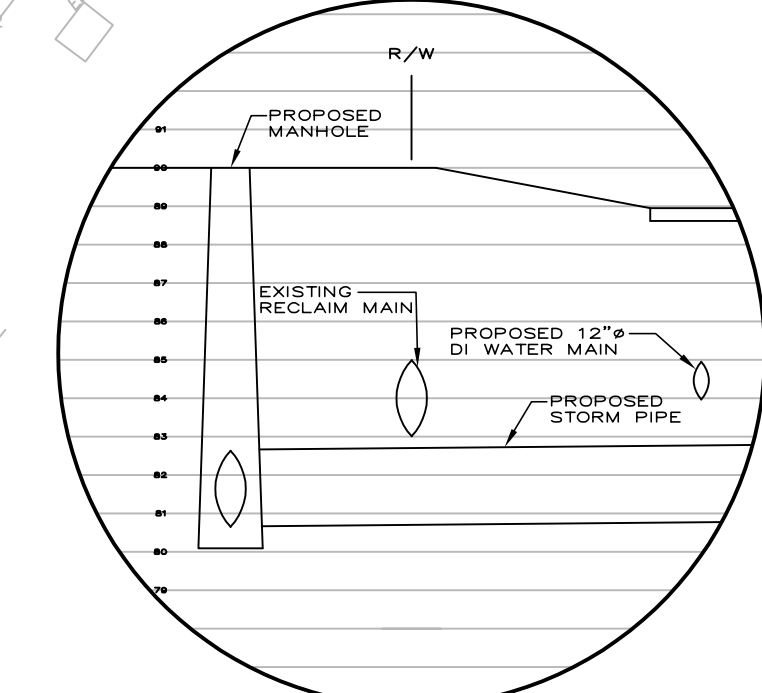
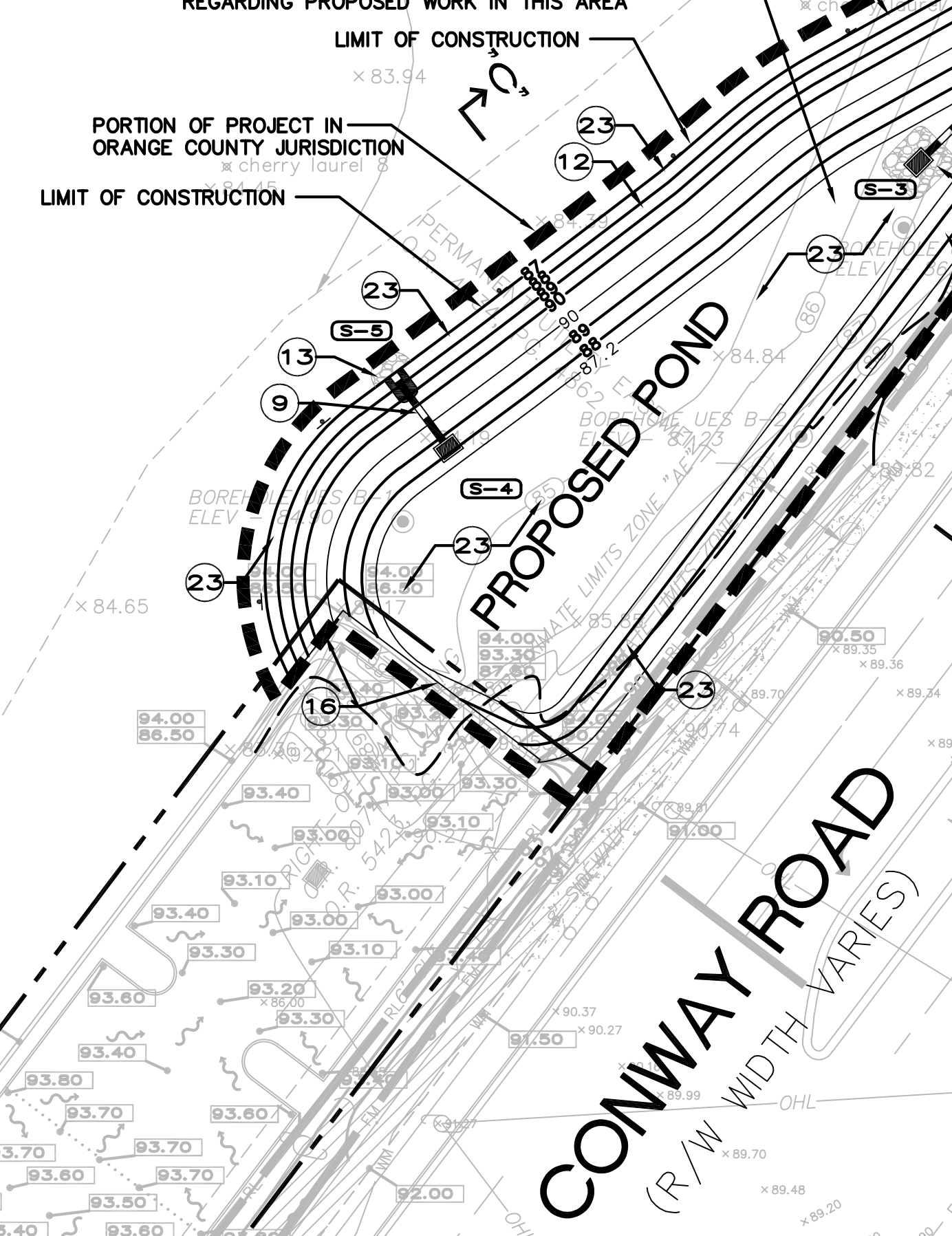
- CITY OF ORLANDO R/W NOTES:**
- ANY SIDEWALKS OR CURBS DISTURBED BY THE WORK SHALL BE RESTORED TO THE CONDITION OF THE ORIGINAL STRUCTURE. SIDEWALK PANELS SHALL BE RESTORED TO FULL PANEL WIDTHS AND LENGTHS (DEFINED BY EDGES OF THE SIDEWALK AND THE NEAREST CONTROL JOINTS OR EXPANSION JOINTS). FINISHING OF SIDEWALKS SHALL NOT BE ACCEPTABLE. PAVEMENT FINISHES, THICKNESSES, AND GRADES SHALL MATCH THE EXISTING SIDEWALK.
 - TRENCHING SHALL NOT TAKE PLACE WITHIN THE ROOT ZONE OF TREES WITH A TRUNK DIAMETER OF 6 INCHES OR LARGER. UNDERGROUND UTILITIES MUST BE TUNNELED RATHER THAN TRENCHED IN THE ROOT ZONES OF EXISTING TREES (EXCLUDING PALMS).
 - LOCATE ALL UTILITIES/FACILITIES PRIOR TO START OF CONSTRUCTION.
 - THE CONTRACTOR MUST LOCATE AND PROTECT ALL THE UTILITIES AND REPAIR ANY DAMAGE CAUSED BY THE WORK AT NOT COST OF THE CITY.
 - ALL UTILITY LOCATE MARKINGS MUST BE COMPLETELY CLEARED AROUND THE AREA OF THE PERMITTED PROJECT AT THE CONTRACTOR'S EXPENSE.
 - PUBLIC RIGHT-OF-WAY SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITION.
 - CURRENT A.D.A STANDARDS SHALL BE UPHOLD AT ALL TIMES.
 - ALL CASINGS (HOPE)/DIRECTIONAL BORES SHALL EXTEND A MINIMUM OF SIX FEET (6') BEYOND EACH EDGE OF PAVEMENT. (COMMERCIAL DRIVEWAYS, SIDEWALKS INCLUDED).
 - CASING WILL BE REQUIRED FOR UNDERGROUND UTILITIES CROSSING UNDER EXISTING PAVEMENT.
 - A MINIMUM 1' CLEAR DISTANCE BETWEEN BACK OF EXISTING CURB INLET AND PROPOSED UNDERGROUND CONDUIT IS REQUIRED. PLEASE MODIFY PLAN TO SHOW THIS MODIFICATION.
 - MINIMUM COVER OF 36" SHALL BE MAINTAINED WHILE HORIZONTAL DIRECTIONAL BORE ACROSS ROADWAYS AND DRIVEWAYS AND ALL UTILITY PIPES.
 - THE CITY OF ORLANDO'S GUIDELINES FOR EROSION SEDIMENT CONTROL (COMMONLY KNOWN AS THE BLUE SHEET) WILL SERVE AS A GUIDE FOR THE IMPLEMENTATION OF EROSION SEDIMENT CONTROL MEASURES.

PLEASE SEE ORANGE COUNTY SPECIAL EXCEPTION CASE #SE-20-08-070 FOR ADDITIONAL INFORMATION REGARDING PROPOSED WORK IN THIS AREA

CANAL

CANAL

PORTION OF PROJECT IN CITY OF ORLANDO JURISDICTION (EXCEPT FOR PROPOSED SANITARY SEWER WORK)



STORM STRUCTURE TABULATION							
STRUCTURE	TYPE OF STRUCTURE	GRATE EL.	N. INV.	S. INV.	E. INV.	W. INV.	NOTES
S-1	STORM MANHOLE	90.00	81.40	81.40	--	81.40	(SEE DETAIL)(FLOOD-PROOF)
S-2	STORM MANHOLE	90.00	--	80.60	80.60	--	(SEE DETAIL)
S-3	TYPE "E"	87.00	80.00	--	--	--	(SEE DETAIL)
S-4	TYPE "C"	88.75	86.50	--	--	--	(OVERFLOW)(SEE DETAIL)
S-5	MES	--	--	86.00	--	--	(SEE DETAIL)
S-6	STORM MANHOLE	90.00	--	--	82.20	82.20	(SEE DETAIL)(FLOOD-PROOF)
S-7	STORM MANHOLE	90.00	--	--	83.00	83.00	(SEE DETAIL)(FLOOD-PROOF)
S-8	STORM MANHOLE	90.00	83.00	--	87.10	83.00	(SEE DETAIL)(FLOOD-PROOF)

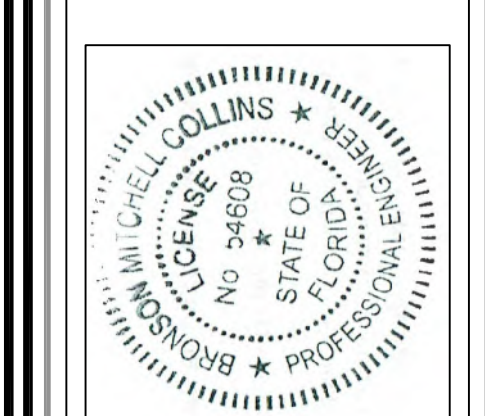
- GRADING LEGEND**
- EL ELEVATION
 - TYP TYPICAL
 - L.F. LINEAR FEET
 - C.O. CLEANOUT
 - INV. INVERT ELEVATION
 - EXISTING ELEVATION
 - PROPOSED SPOT ELEVATION
 - PROPOSED SPOT ELEVATION BASED ON EXISTING GRADE
 - PROPOSED SPOT ELEVATION (TOP OF SIDEWALK/ASPHALT)
 - DRAINAGE INLET
 - MITERED END SECTION
 - DRAINAGE PIPE
 - EXISTING EASEMENT (DEPICTED ON PLAN)
 - PROPOSED EASEMENT (DEPICTED ON PLAN)
 - SURFACE STORMWATER FLOW
 - HDPE HIGH DENSITY POLYETHYLENE PIPE
 - RCP REINFORCED CONCRETE PIPE
 - HP HIGH PERFORMANCE POLYPROPYLENE PIPE
 - FF FINISHED FLOOR
 - S-1 STORM SEWER STRUCTURE ID
 - SILT FENCE BARRIER (SEE SHEET C-3)
 - PROPOSED CONCRETE PAVEMENT (SEE DETAIL)

- KEY NOTES:**
- PROPOSED 30' L.F. OF CONCRETE TRENCH DRAIN AT (NEENAH R-4999-L6) (GRATE ELEVATION=90.00, BOTTOM ELEVATION=88.50 TO 88.00) (SLOPE BOTTOM FROM NORTH TO WEST) (POSITION AT 2% SLOPE IN DIRECTION OF TRAFFIC) (FORM IN PLACE) (INCLUDE 19 L.F. OF 15" RCP CONNECTOR PIPE AT WEST SIDE TOWARD S-7) (FORM CHANNEL IN PLACE PER NEENAH SPECIFICATIONS)
 - PROPOSED 171' L.F. OF 18" RCP STORM PIPE AT 0.34% (INCLUDE DECK DRAINS AT 25' ON CENTER WITH VERTICAL CONNECTIONS TO RCP STORM PIPE) (DECK DRAINS TO BE LOCATED 10' FROM EDGE OF DECK) (SLOPE EDGE OF DECK TOWARD DECK DRAINS)
 -
 - PROPOSED 24' L.F. OF CONCRETE TRENCH DRAIN AT (NEENAH R-4999-L6) (GRATE ELEVATION=90.00, BOTTOM ELEVATION=88.50 TO 88.00) (SLOPE BOTTOM FROM NORTH TO SOUTH) (FORM IN PLACE) (INCLUDE 10 L.F. OF 15" RCP CONNECTOR PIPE AT SOUTH SIDE TOWARD S-8) (FORM CHANNEL IN PLACE PER NEENAH SPECIFICATIONS)
 - PROPOSED 92' L.F. OF 18" RCP STORM PIPE AT 1.74% (INCLUDE DECK DRAINS AT 25' ON CENTER WITH VERTICAL CONNECTIONS TO RCP STORM PIPE) (DECK DRAINS TO BE LOCATED 5' FROM EDGE OF DECK) (SLOPE EDGE OF DECK TOWARD DECK DRAINS)
 - PROPOSED 156' L.F. OF 24" HP AT 0.51% (USE JACK AND BORE) (SEE DETAIL, SHEET C-7)
 - CITY DRAINAGE EASEMENT REQUIRED IN THIS AREA
 - PROPOSED 113' L.F. OF 24" RCP AT 0.53%
 - PROPOSED 19' L.F. OF 15" RCP AT 5.26%
 - GRADE AREA DOWN TO ELEVATION 85.50
 - SLOPE AT 4:1 IN THIS AREA
 - SLOPE AT 3:1 IN THIS AREA
 - GRADE AREA TO ELEVATION 85.00 AND INSTALL DITCH LINING RUBBLE PER FDOT STANDARD SPEC 530-2.1.3.2 (TOP OF ROCK ELEVATION 87.00) (100 CF± TOTAL)
 -
 - PROPOSED CROSSING WITH 24" RECLAIM MAIN (BOTTOM OF RECLAIM MAIN=83.00) (TOP OF STORM PIPE=82.70) (SEE DETAIL ON THIS PLAN SHEET)
 - EXISTING RETAINING WALL
 - INCLUDE 6" WIDE BREAK IN TRENCH DRAIN IN THIS AREA (NO TRENCH DRAIN ALLOWED IN PATH OF PROPOSED 6" WIDE PEDESTRIAN WALKWAY)
 - INSTALL DITCH LINING RUBBLE PER FDOT STANDARD SPEC 530-2.1.3.2 IN THIS AREA (5 FOOT RADIUS OUTSIDE OF INLET) (TWO FEET DEEP) (100 CF± TOTAL)
 - PROPOSED 171' L.F. OF 18" RCP STORM PIPE AT 0.53% (INCLUDE DECK DRAINS AT 25' ON CENTER WITH VERTICAL CONNECTIONS TO RCP STORM PIPE) (DECK DRAINS TO BE LOCATED 10' FROM EDGE OF DECK) (SLOPE EDGE OF DECK TOWARD DECK DRAINS)
 - PROPOSED 63' L.F. OF 12" HP STORM PIPE AT 1.43% (UPSTREAM INVERT NEAR BUILDING=88.00) (PIPE TO BE CONNECTED TO UNDERSIDE OF PARKING DECK) (SEE SEPARATE STRUCTURAL PLANS)
 - GRADE AREA DOWN TO ELEVATION 85.00
 - REPLACE EXISTING FDOT TYPE "P-2" CURB INLET WITH NEW FDOT TYPE "V" INLET TOP ABOVE 6" SQUARE FDOT TYPE "J" BOX (GRATE=88.40, N. INVERT=84.00, S. INVERT=84.00)
 - OVEREXCAVATION REQUIRED IN THIS AREA TO ELEVATION 79.00 (BACKFILL WITH CLEAN FINE SAND (FINES LESS THAN 5%) WITH MINIMUM K=15 FT/DAY (SEE USE GEOTECHNICAL REPORT DATED 8-12-2020) (SEE CROSS-SECTION C-C ON PLAN SHEET C-7)

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12/21/20

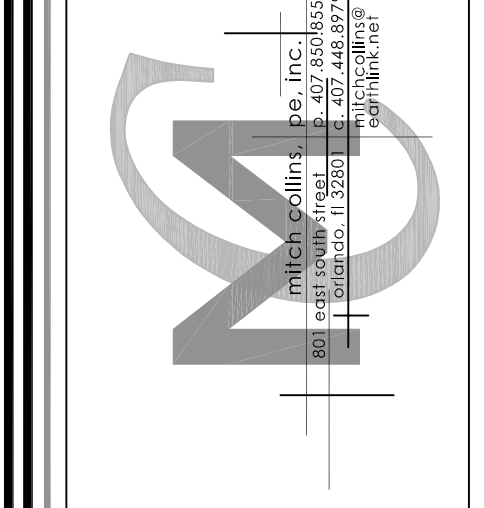
REV/DATE	BY
9-24-20	M.C.
12-21-20	M.C.
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GRADING AND DRAINAGE PLAN
FOR
BEST WESTERN PREMIER AT OIA
ORLANDO, FLORIDA
4315 MCCOY ROAD



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MITCHELL COLLINS, P.E. #24608
STATE OF FLORIDA, C.A.# 9523



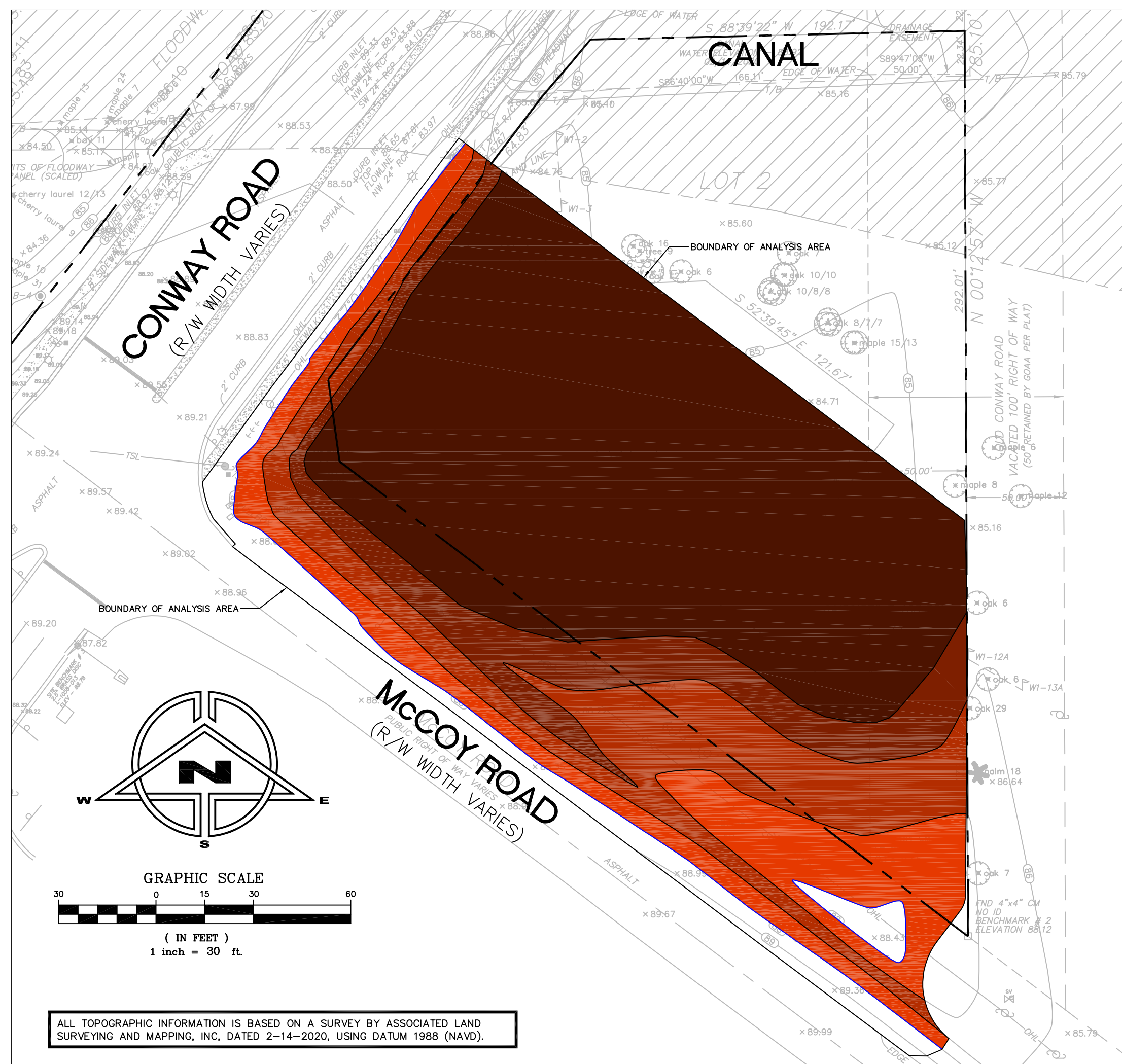
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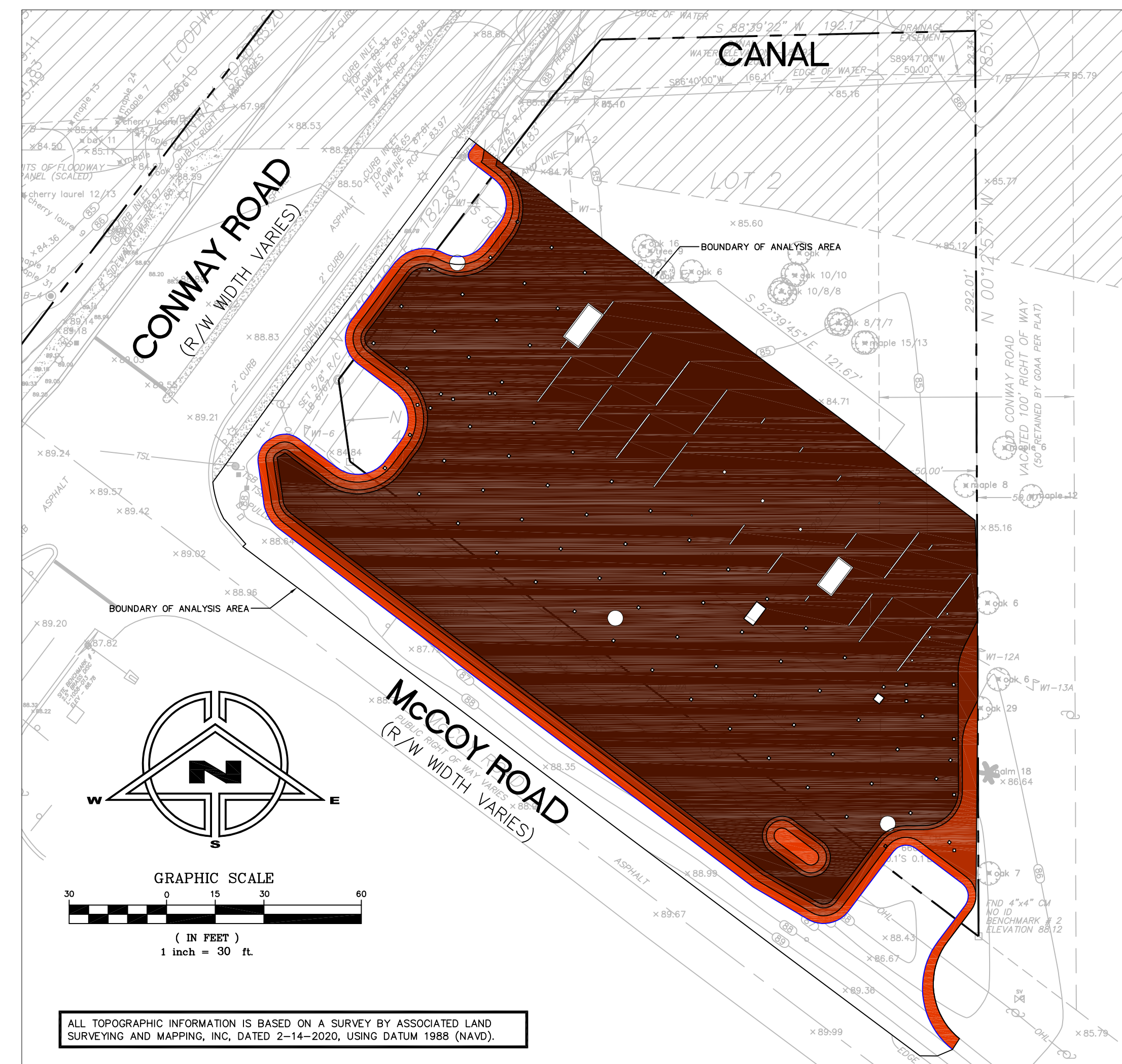
REV/DATE	BY
9-24-20	M.C.
12-21-20	M.C.
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FLOODZONE IMPACT PLAN
FOR
BEST WESTERN PREMIER AT OIA

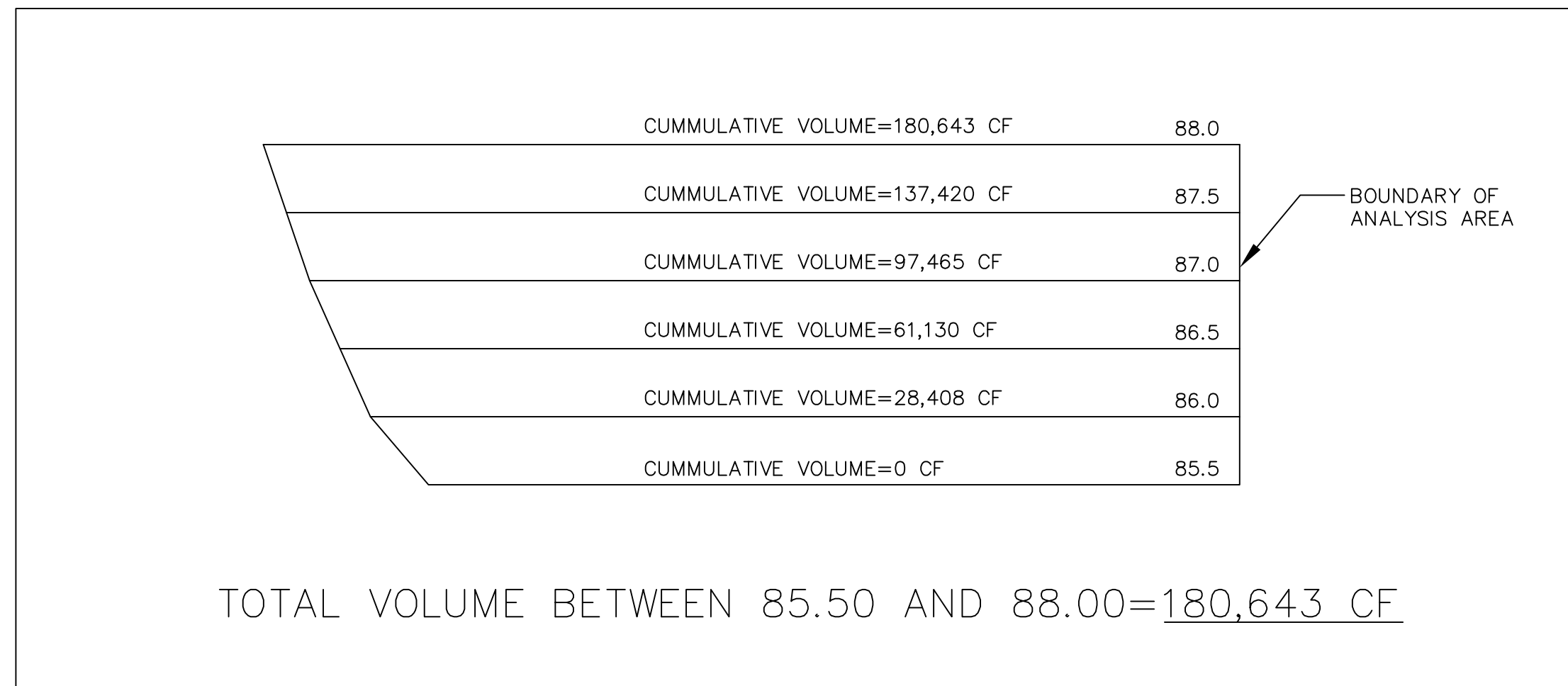
ORLANDO, FLORIDA
4315 MCCOY ROAD



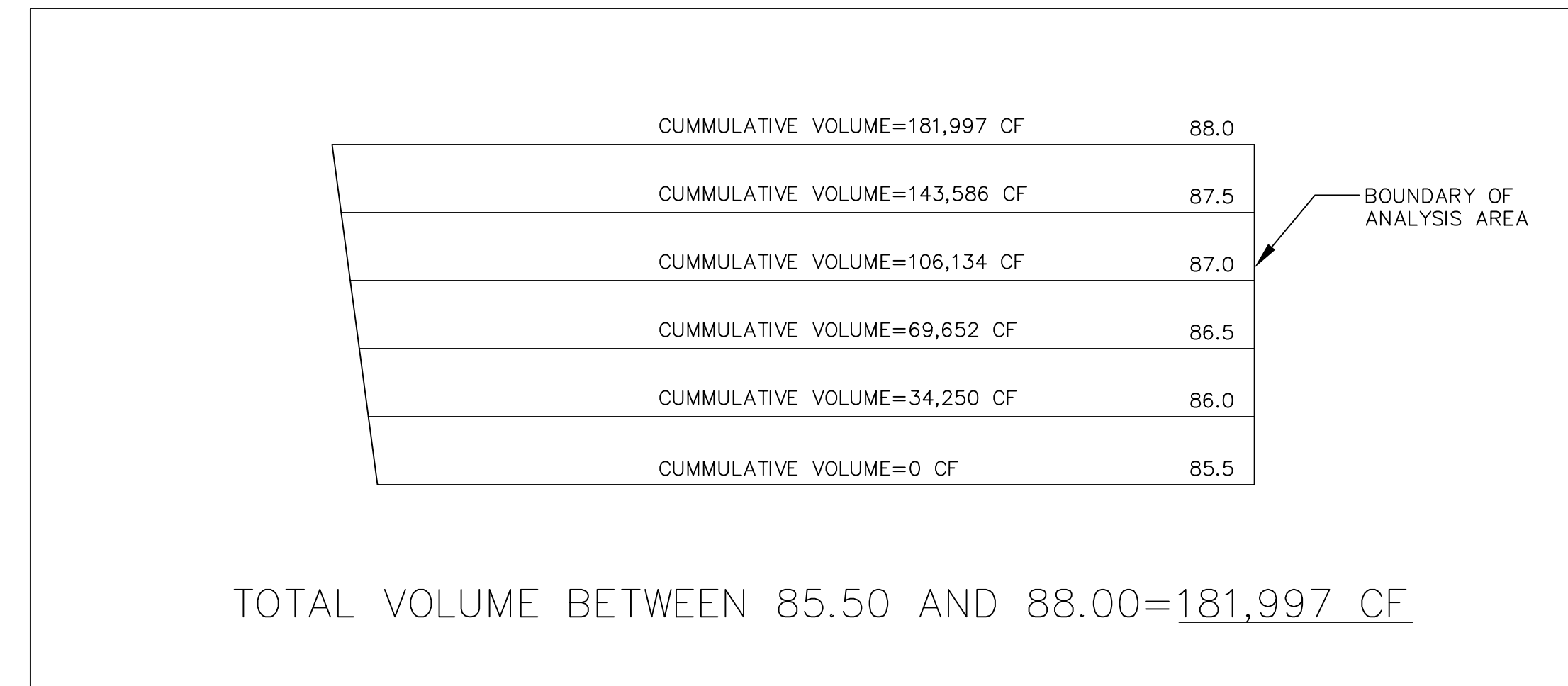
- ELEVATION 85.50 AND BELOW
- B/W ELEVATION 85.50 AND 86.00
- B/W ELEVATION 86.00 AND 87.00
- B/W ELEVATION 87.00 AND 88.00
- ABOVE ELEVATION 88.00



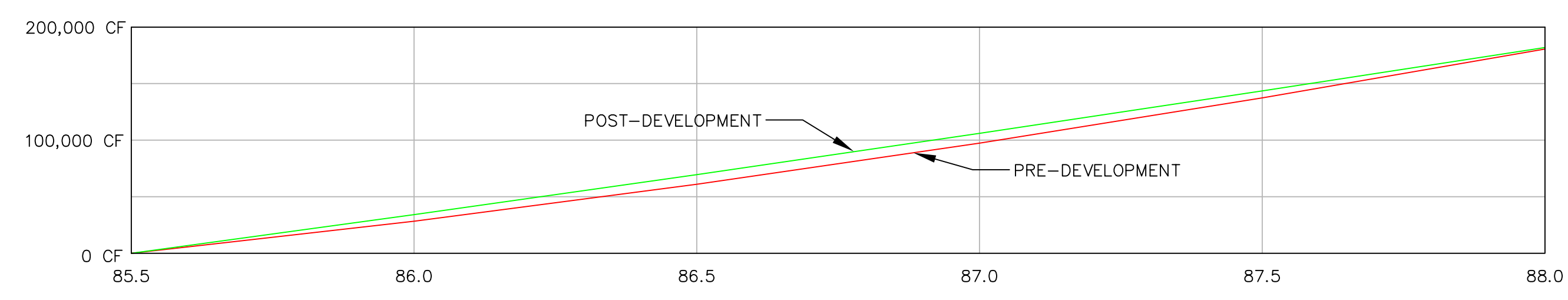
- ELEVATION 85.50 AND BELOW
- B/W ELEVATION 85.50 AND 86.00
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- B/W ELEVATION 87.00 AND 88.00
- ABOVE ELEVATION 88.00



PRE-DEVELOPMENT



POST-DEVELOPMENT

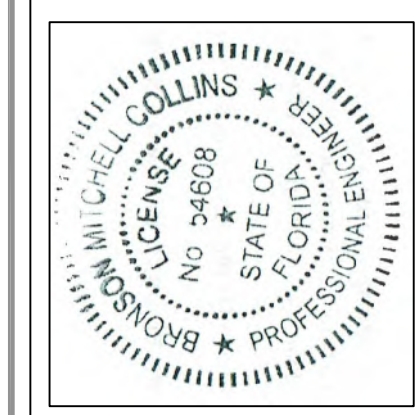


VOLUME COMPARISON CHART

received

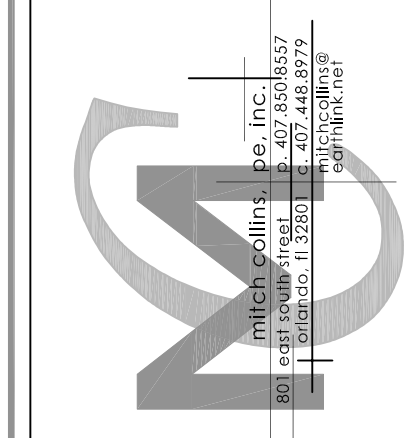
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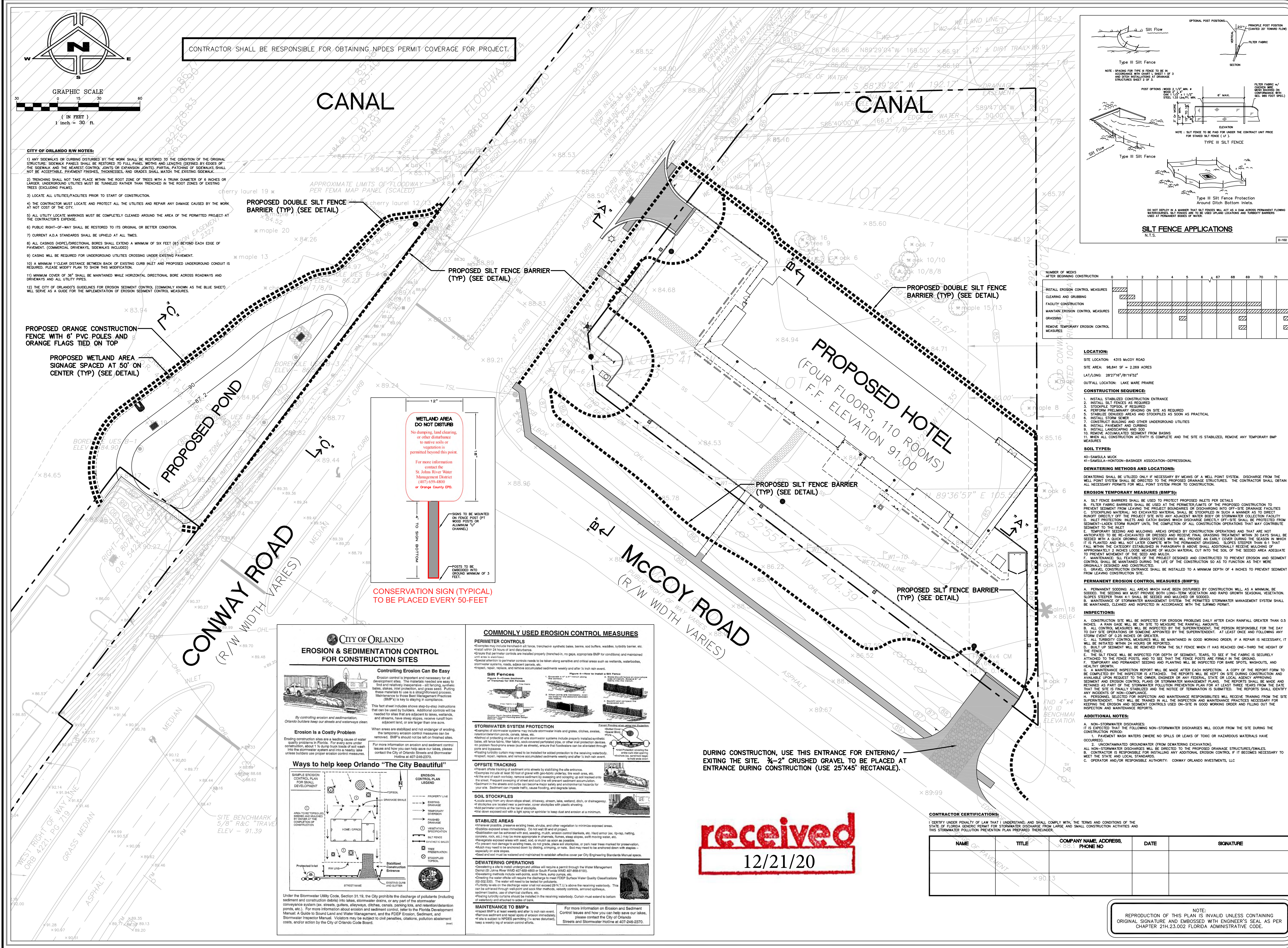


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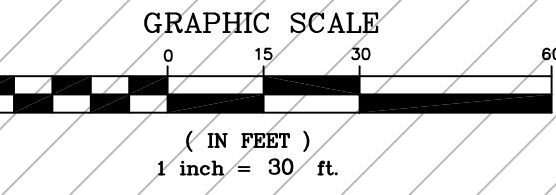
MITCHELL COLLINS, P.E. # 24608
STATE OF FLORIDA, C.A.# 9523



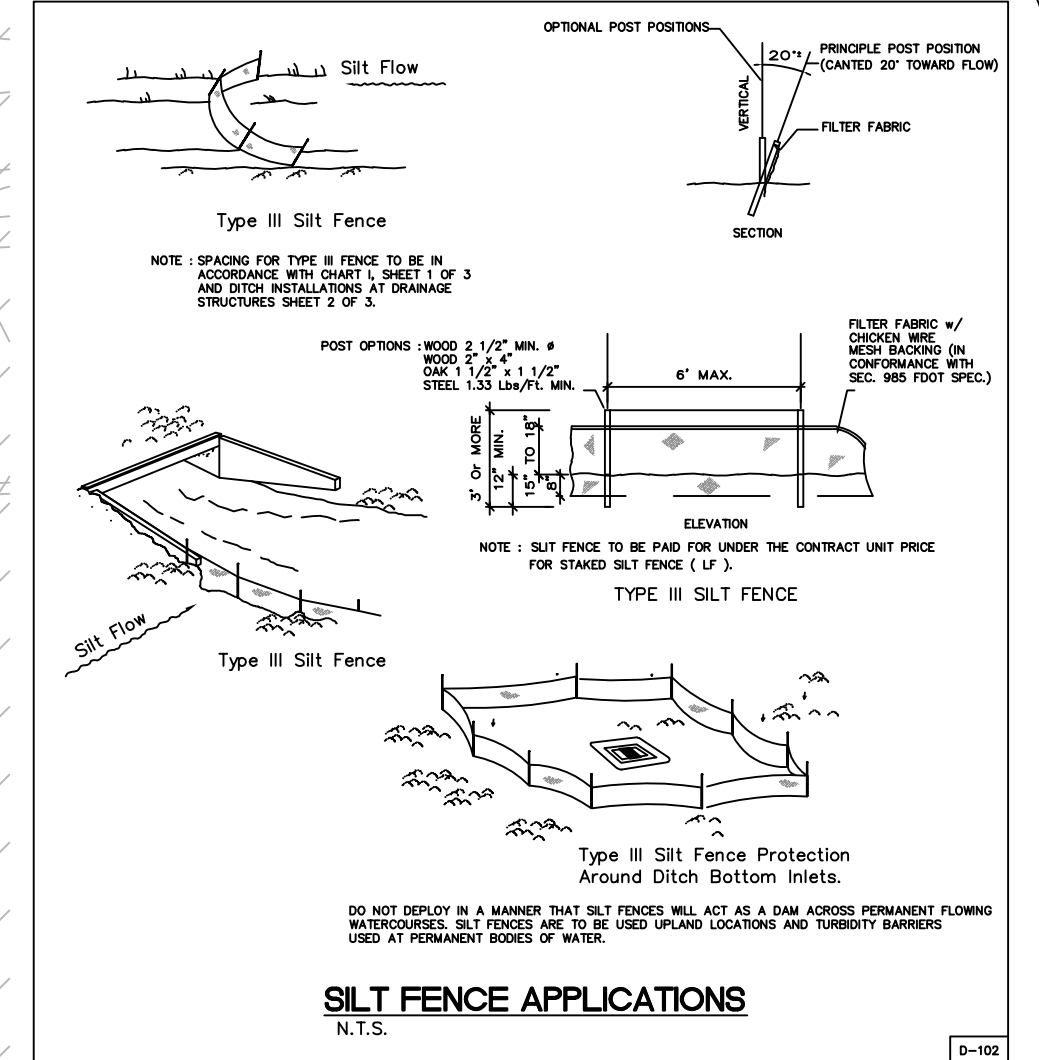
DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	4-17-20
SCALE:	1" = 30'
JOB NO:	219-035
SHEET NO:	C-2A OF C-10



CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.



- CITY OF ORLANDO RW NOTES:
1) ANY SIDEWALKS OR CURBS DISTURBED BY THE WORK SHALL BE RESTORED TO THE CONDITION OF THE ORIGINAL STRUCTURE...
2) TRENCING SHALL NOT TAKE PLACE WITHIN THE ROOT ZONE OF TREES WITH A TRUNK DIAMETER OF 6 INCHES OR LARGER...
3) LOCATE ALL UTILITIES/FACILITIES PRIOR TO START OF CONSTRUCTION...
4) THE CONTRACTOR MUST LOCATE AND PROTECT ALL THE UTILITIES AND REPAIR ANY DAMAGE CAUSED BY THE WORK AT NOT COST OF THE CITY...
5) ALL UTILITY LOCATE MARKINGS MUST BE COMPLETELY CLEANED AROUND THE AREA OF THE PERMITTED PROJECT AT THE CONTRACTOR'S EXPENSE...
6) PUBLIC RIGHT-OF-WAY SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITION...
7) CURRENT A.S.A. STANDARDS SHALL BE UPHELD AT ALL TIMES...
8) ALL CHANGES (DEPTH)/DIRECTIONAL BORES SHALL EXTEND A MINIMUM OF SIX FEET (6') BEYOND EACH EDGE OF PAVEMENT...
9) CASING WILL BE REQUIRED FOR UNDERGROUND UTILITIES CROSSING UNDER EXISTING PAVEMENT...
10) A MINIMUM 1' CLEAR DISTANCE BETWEEN BACK OF EXISTING CURB INLET AND PROPOSED UNDERGROUND CONDUIT IS REQUIRED...
11) MINIMUM COVER OF 36" SHALL BE MAINTAINED WHILE HORIZONTAL DIRECTIONAL BORE ACROSS ROADWAYS AND DRIVEWAYS...
12) THE CITY OF ORLANDO'S GUIDELINES FOR EROSION SEDIMENT CONTROL... WILL SERVE AS A GUIDE FOR THE IMPLEMENTATION OF EROSION SEDIMENT CONTROL MEASURES.



CONSTRUCTION SEQUENCE: A bar chart showing the duration of various measures over 72 weeks. Measures include: CLEANING AND GRASSING, FACILITY CONSTRUCTION, MAINTAIN EROSION CONTROL MEASURES, GRASSING, and REMOVE TEMPORARY EROSION CONTROL MEASURES.

- LOCATION: SITE LOCATION: 4315 MCCOY ROAD. SITE AREA: 98,841 SF = 2.269 ACRES. LAT/LONG: 28.2714°N/101.9192°W. OUTFALL LOCATION: LAKE MARE PRRIARE.
CONSTRUCTION SEQUENCE: 1. INSTALL STABILIZED CONSTRUCTION ENTRANCE... 2. INSTALL EROSION CONTROL MEASURES... 3. STOCKPILE TOPSOIL... 4. PERSON FREQUENTLY GRASSING ON SITE AS REQUIRED... 5. STABILIZE OPEN AREAS AND STOCKPILES AS SOON AS PRACTICAL... 6. INSTALL STORM SEWER... 7. CONSTRUCT BUILDING AND OTHER UNDERGROUND UTILITIES... 8. INSTALL PAVED DRIVEWAYS AND DRIVEWAYS... 9. INSTALL LANDSCAPING AND SOIL... 10. REMOVE ACCUMULATED SEDIMENT FROM BASINS... 11. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY BMP MEASURES.
SOIL TYPES: 40-SAMSULA MUCK, 41-SAMSULA-HUNTON-BASINGER ASSOCIATION-DEPRESSIONAL.
DEWATERING METHODS AND LOCATIONS: DEWATERING SHALL BE UTILIZED ONLY IF NECESSARY BY MEANS OF A WELL POINT SYSTEM.
EROSION TEMPORARY MEASURES (BMP'S): A. SILT FENCE BARRIERS SHALL BE USED TO PROTECT PROPOSED INLETS... B. FILTER FABRIC BARRIERS SHALL BE USED AT THE PRIMER LIMITS OF THE PROPOSED CONSTRUCTION... C. STOCKPILES SHALL BE COVERED WITH A MINIMUM OF 6" OF CLEAN MATERIAL... D. ALL CONSTRUCTION MATERIALS SHALL BE STORED IN SUCH A MANNER AS TO PREVENT RUNOFF... E. TEMPORARY SEEDING AND MULCHING... F. MAINTENANCE... G. GRAVEL CONSTRUCTION ENTRANCE...
PERMANENT EROSION CONTROL MEASURES (BMP'S): A. PERMANENT SEEDING... B. SOIL STOCKPILES... C. MAINTENANCE OF STORMWATER MANAGEMENT SYSTEM...
INSPECTIONS: A. CONSTRUCTION SITE WILL BE INSPECTED FOR EROSION PROBLEMS... B. ALL CONTROL MEASURES... C. ALL CONSTRUCTION MEASURES... D. BUILT UP SEDIMENT... E. THE SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT... F. INSPECTION REPORT... G. MAINTENANCE INSPECTION REPORT... H. PERSONNEL...
ADDITIONAL NOTES: A. NON-TEMPORARY DISCHARGES... B. PERMANENT DISCHARGES... C. OPERATOR AND/OR RESPONSIBLE AUTHORITY: CONWAY ORLANDO ENVIRONMENTAL, LLC.

WETLAND AREA DO NOT DISTURB. No dumping, land clearing, or other disturbance to wetlands... For more information contact: St. Johns River Water Management District (877)504-6181 or Orange County EPA.

CONSERVATION SIGN (TYPICAL) TO BE PLACED EVERY 50-FOET.

DURING CONSTRUCTION, USE THIS ENTRANCE FOR ENTERING/EXITING THE SITE. 3/4"-2" CRUSHED GRAVEL TO BE PLACED AT ENTRANCE DURING CONSTRUCTION (USE 25'X45' RECTANGLE).

received 12/21/20

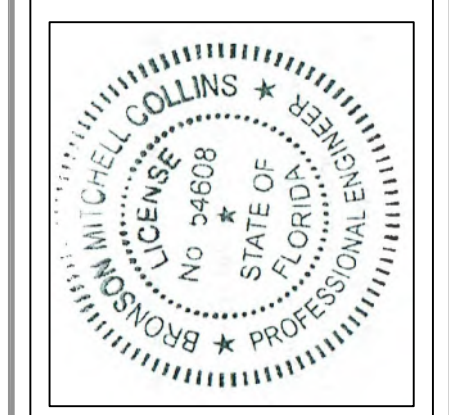
CONTRACTOR CERTIFICATIONS table with columns: NAME, TITLE, COMPANY NAME, ADDRESS, PHONE NO, DATE, SIGNATURE.

CITY OF ORLANDO EROSION & SEDIMENTATION CONTROL FOR CONSTRUCTION SITES. Includes sections: Controlling Erosion Can Be Easy, Erosion is a Costly Problem, Ways to help keep Orlando "The City Beautiful!", EROSION CONTROL PLAN LEGEND, and DEWATERING OPERATIONS.

COMMONLY USED EROSION CONTROL MEASURES. Includes sections: PERIMETER CONTROLS, Silt Fences, STORMWATER SYSTEM PROTECTION, OFFSITE TRACKING, SOIL STOCKPILES, STABILIZE AREAS, and DEWATERING OPERATIONS.

REV/DATE BY table: 9-24-20 M.C., 12-21-20 M.C.

EROSION CONTROL PLAN FOR BEST WESTERN PREMIER AT OIA, ORLANDO, FLORIDA, 4315 MCCOY ROAD.



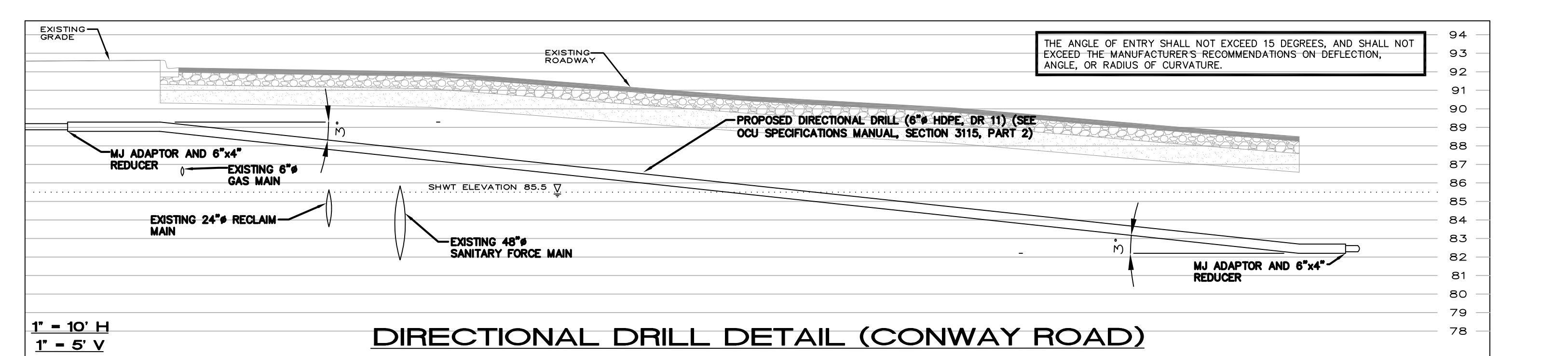
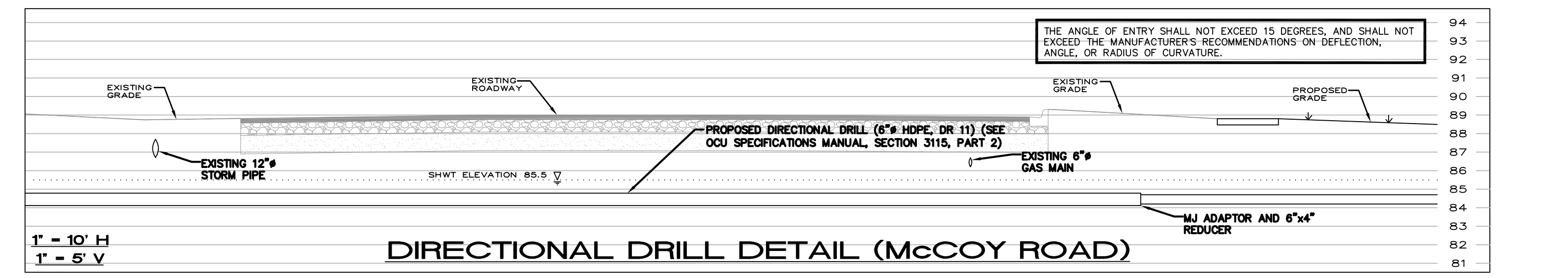
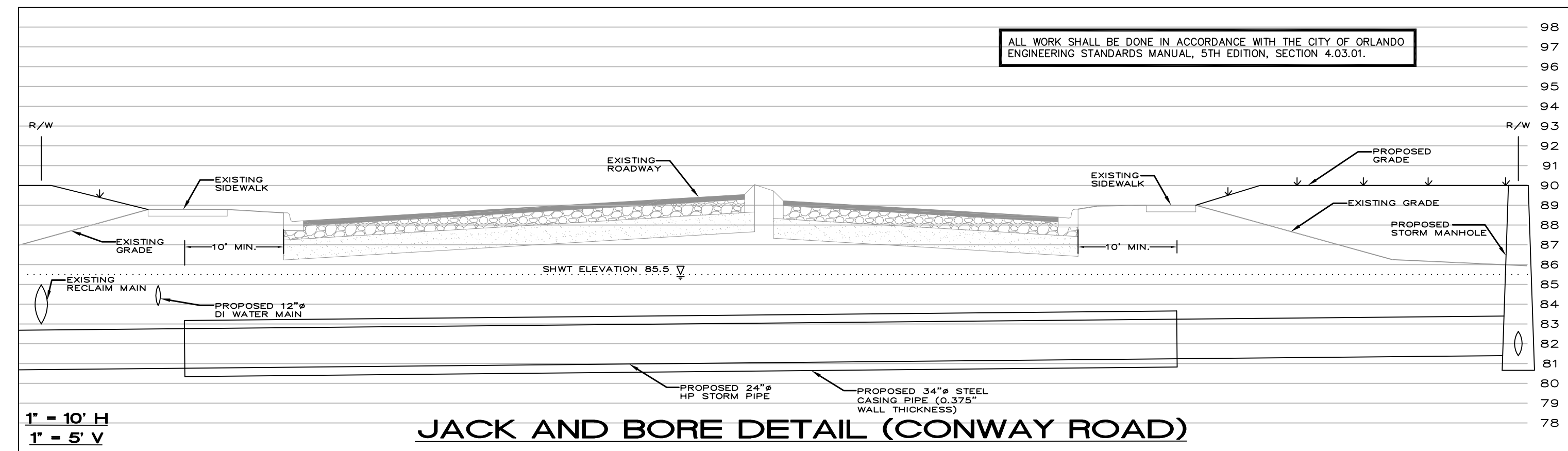
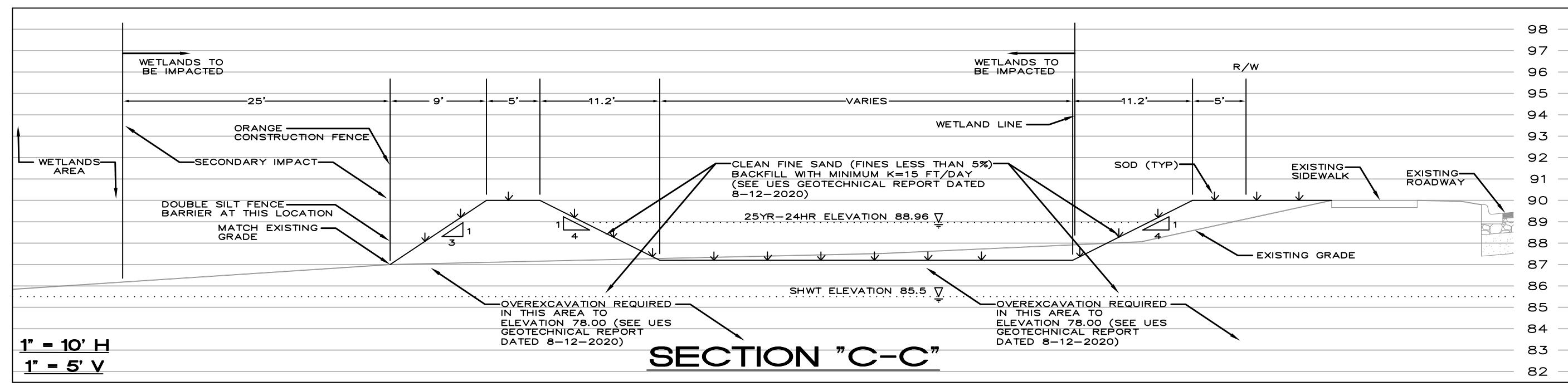
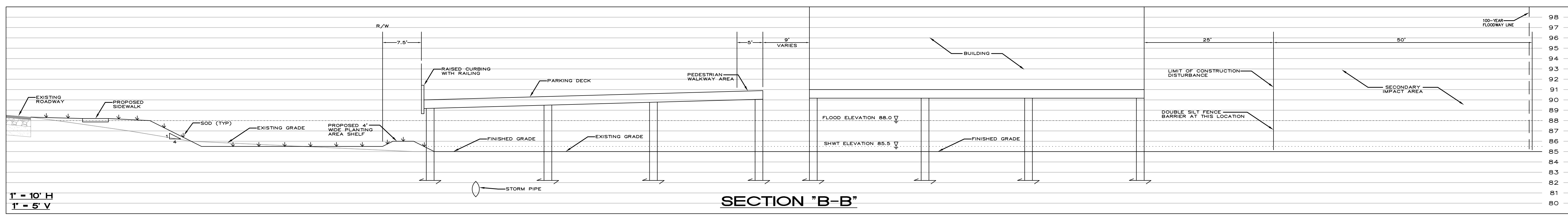
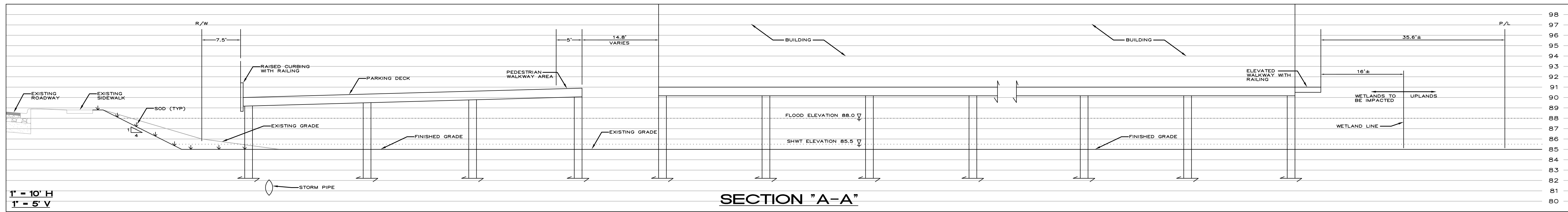
THIS PLAN WAS DRAWN BY MITCHELL COLLINS AND I HAVE REVIEWED IT AND APPROVE IT FOR CONSTRUCTION. DATE: 12/21/20

DRAWN BY: M.C., CHECKED BY: M.C., DATE: 4-17-20, SCALE: 1" = 30', JOB NO: 219-035, SHEET NO: C-3 OF C-10.

NOTE: REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 21H.23.002 FLORIDA ADMINISTRATIVE CODE.

REV/DATE	BY
9-24-20	M.C.
12-21-20	M.C.

DETAILS AND NOTES
FOR
BEST WESTERN PREMIER AT OIA
 ORLANDO, FLORIDA
 4315 MCCOY ROAD



MATERIAL LIST

- A (SIZE) D.I. PIPE (VARIOUS LENGTHS)
- B (SIZE) M.J. GATE VALVE W/BOX (SERVICE VALVE)
- C (SIZE) X (SIZE) M.J. TEE
- (3) METALUG JOINT RESTRAINTS
- D (SIZE) x 30" D.I. PIPE STUB
- E (SIZE) M.J. ELL
- (2) METALUG JOINT RESTRAINT
- F (SIZE) M.J. GATE VALVE W/BOX
- (2) METALUG JOINT RESTRAINT (VALVE NUT LOCKING CAP PROVIDED BY O.U.C.)
- G (SIZE) FLANGED D.I. PIPE
- H (SIZE) FLANGED ELL (LONG RADIUS)
- I (SIZE) FLANGED GATE VALVE (NRS) W/PACKWIRE
- J FLANGED X FLANGED D.I. SPOOL PIPE SEE TABLE FOR SPOOL PIECE LENGTH
- K (SIZE) TURBO METER W/STRAINER SEE TABLE FOR METER LAY LENGTH (PROVIDED BY O.U.C. AT DEVELOPER'S EXPENSE)
- L (SIZE) x 2" SERVICE CLAMP
- 2" BRASS CLOSE NIPPLE
- 2" GATE SCREW VALVE
- 2" BRASS FLUG
- M (SIZE) FLANGED TEE
- N REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY (O.U.C. APPROVED)
- O 3000 PSI CONC. W/EXS WWF (6" WIDE x 8" THICK MINIMUM) BY DEVELOPER
- P ADJUSTABLE BRACE (AS NEEDED)
- Q EXPANSION JOINT MATERIAL (TYP.)

REFER TO CONSTRUCTION NOTE 3.

SERV. X METER DIA. (IN)	180 METER LAY LENGTH (IN)	C/O METER SPOOL PIECE (IN)	BYPASS DIA. (IN)
4" x 3"	19"	4" FLG. x 3" FLG. x 2"	4"
6" x 4"	23"	6" FLG. x 4" FLG. x 2"	4"
8" x 6"	27"	8" FLG. x 6" FLG. x 2"	6"
10" x 8"	30-1/8"	10" FLG. x 8" FLG. x 2"	8"
12" x 10"	41-1/8"	12" FLG. x 10" FLG. x 2"	10"

ORLANDO UTILITIES COMMISSION
 WATER DIVISION UNIT
 3800 GARDNER AVE., ORLANDO, FL 32839
 (407) 241-1111

DOMESTIC MASTER METER ASSEMBLY (TYPICAL)
 1/4" O.U.C. APPROVED REDUCED PRESSURE BACKFLOW PREVENTER
 STANDARD SIZES: 3" 4" 6" 8" 10"

NOTES:

- THE METER ASSEMBLY TO BE INSTALLED ON PRIVATE PROPERTY. EASEMENT REQUIRED.
- A MINIMUM 4 FT. CLEARANCE ON EACH SIDE OF THE METER ASSEMBLY MUST BE MAINTAINED FOR METER TESTING AND MAINTENANCE.
- O.U.C. INSTALLED: O.U.C. TO PROVIDE AND INSTALL METER W/STRAINER AND BY-PASS ASSEMBLY (AT DEVELOPER'S EXPENSE) ALL OTHER MATERIALS TO BE PROVIDED AND INSTALLED BY THE DEVELOPER/CUSTOMER PER O.U.C. SPECIFICATIONS.
- DEVELOPER INSTALLED: O.U.C. TO PROVIDE METER W/STRAINER (AT DEVELOPER'S EXPENSE). ALL OTHER MATERIALS TO BE PROVIDED AND INSTALLED BY THE DEVELOPER/CUSTOMER PER O.U.C. SPECIFICATIONS UNDER O.U.C. INSPECTION.
- THE BACKFLOW PREVENTION DEVICE (O.U.C. APPROVED) TO BE FURNISHED, INSTALLED, OWNED & MAINTAINED BY THE DEVELOPER/CUSTOMER.
- FOR CONSTRUCTION AND BACKFLOW PREVENTION REQUIREMENTS CONTACT O.U.C. INSPECTION DEPARTMENT AT 407-434-2535.
- FOR SENSUS T2 SERIES DOMESTIC METER FLOW DATA & SPECIFICATIONS VISIT WWW.SENSUS.COM.

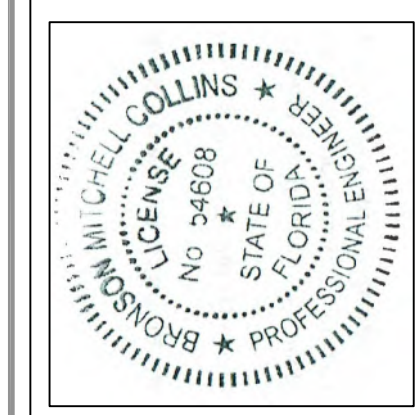
CONSTRUCTION NOTES:

- SERVICE VALVE, PIPE & FITTINGS TO BE ONE NOMINAL SIZE LARGER THAN METER SIZE.
- BYPASS ASSEMBLY VALVE, PIPE & FITTINGS SAME SIZE AS METER.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE CURRENT METER & SPOOL PIECE DIMENSIONS THROUGHOUT O.U.C. OR THE METER MANUFACTURER PRIOR TO CONSTRUCTION.
- THE O.U.C. OWNED PORTION OF METER ASSEMBLY SHALL NOT BE PAINTED UNLESS APPROVED BY O.U.C.

received

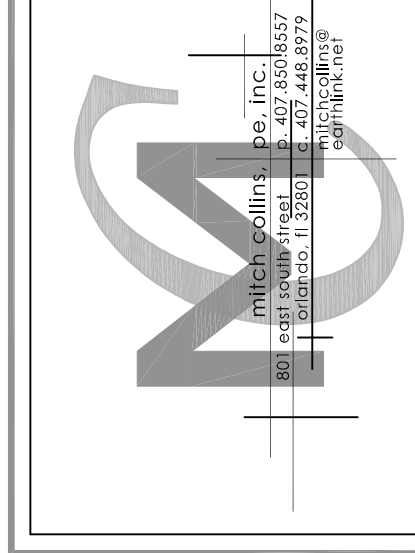
12/21/20

NOTE:
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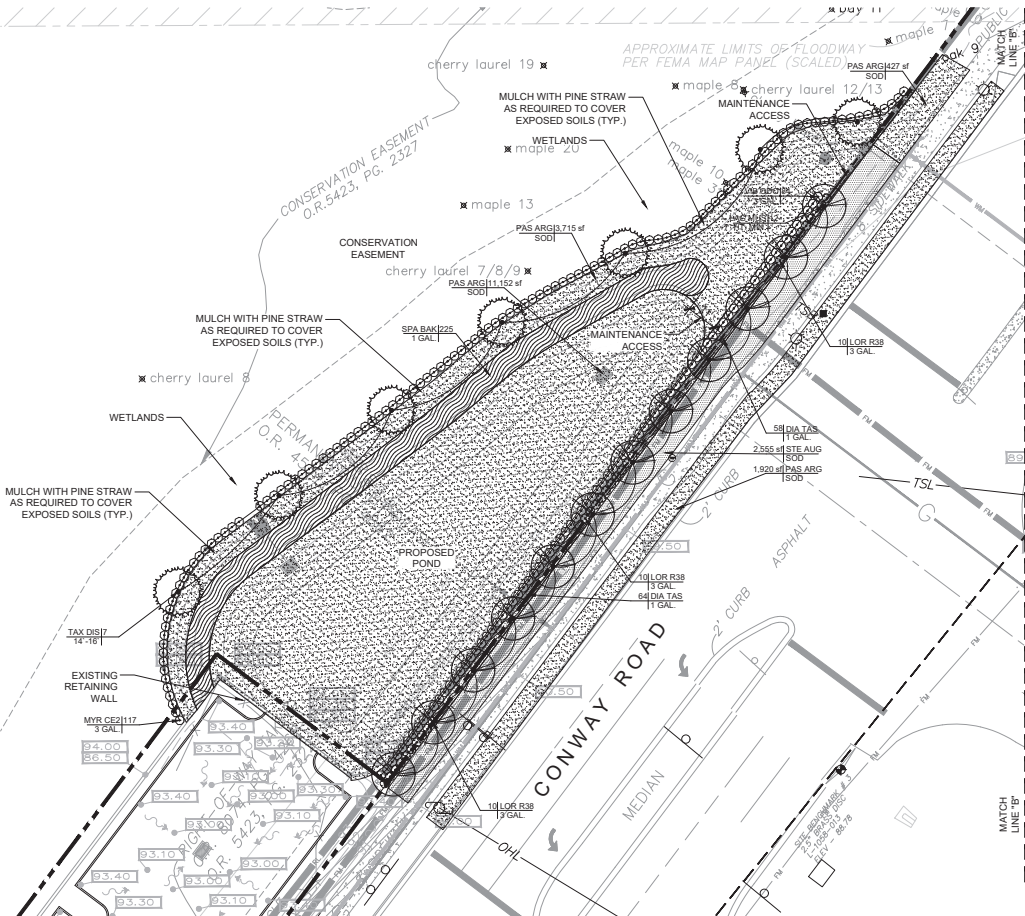


THIS PLAN IS INTERNALLY SIGNED AND SEALED BY MITCHELL COLLINS, P.E. NO. 24608, STATE OF FLORIDA. IT IS NOT BEING REPRODUCED OR COPIED IN ANY MANNER WITHOUT HIS WRITTEN CONSENT AND ON ANY ELECTRONIC COPIES.

MITCHELL COLLINS, P.E. # 24608
 STATE OF FLORIDA, C.A.# 9523



DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	4-17-20
SCALE:	N.T.S.
JOB NO:	219-035
SHEET NO:	C-7 OF C-10



PROPOSED POND FOR HOTEL - ORANGE COUNTY

ORANGE COUNTY LANDSCAPE CODE REQUIREMENTS

MINIMUM LANDSCAPE REQUIREMENTS SECTION 24-4

SECTION 24-4(1) LANDSCAPE PLAN AND WATER-EFFICIENT LANDSCAPING

- (1) REQ 400/20 PLAN OPTION: NOT APPLICABLE AS FLORIDA FRIENDLY PRINCIPLES USED PER SECT. 24-4(L)(2)
- (2) FLORIDA FRIENDLY LANDSCAPING OPTION UTILIZED FOR LANDSCAPE PLAN. IN NO CASE SHALL TURF EXCEED (60) PERCENT OF THE TOTAL SF AREA THAT IS LANDSCAPE NOT INCLUDING QUALIFIED RETENTION PONDS.

MAXIMUM TOTAL SQUARE FOOTAGE OF AREAS TO BE LANDSCAPED WITH TURF
 60 PERCENT OF 7990 SF = 4794 SF OF MAXIMUM TURF*
 3500 SF (43.8%) OF SHRUBS AND GROUNDCOVER BEDS PROVIDED TO MEET REQUIREMENT.
 *NOTE: TURF CALCULATIONS ABOVE EXCLUDE RETENTION POND AND DISTURBED TURF IN RIGHT OF WAY.

ORANGE COUNTY LANDSCAPE COMPLIANCE NOTES

- ALL PROPOSED PLANT MATERIALS ARE LISTED AS SPECIES UNDER THE "FLORIDA FRIENDLY" LANDSCAPE PRINCIPALS PLANT SPECIES LIST AS DESCRIBED IN FS (2009) 373-185 (J)(b).
- REFER TO PLANT LIST FOR THE LISTING OF DROUGHT TOLERANT PLANTS AND WATER USAGE FOR EACH PLANT.
- THE IRRIGATED TURF AREA DOES NOT EXCEED 60% OF THE TOTAL SQUARE FOOTAGE WITHIN THE LIMITS OF THE PROJECT. REFER TO TURF AREA CALCULATIONS.
- THE PROPOSED LANDSCAPE PLAN COMPLIES WITH ORANGE COUNTY CHAPTER 24 LANDSCAPING BUFFER AND OPEN SPACE.
- MULCH REQUIREMENTS: MULCH, PER SEC. 24-6(B)(4), SHALL BE ORGANIC AND SHALL NOT BE PLACED ON TOP OF THE ROOT BALL OR PLACED AGAINST THE TRUNK. MULCH SHALL BE APPLIED A MINIMUM OF 12-18" FROM THE TRUNK OF ANY SIZED TREE. MATERIALS SUCH AS ROCK AND SHELLS THAT DO NOT BIODEGRADE, ARE NOT DEEMED ACCEPTABLE. FAILURE TO INSTALL MULCH (AND TYPE OF MULCH) AS PROVIDED IN THE SPECIFICATION ABOVE MAY RESULT IN A FAILED INSPECTION. SEE [HTTP://HORT.IFAS.UFL.EDU/WOODY/COVER-MULCHING.SHTML](http://hort.ifas.ufl.edu/woody/cover-mulching.shtml) FOR MORE INFORMATION.
- ALL EXOTICS AND INVASIVE SPECIES AS LISTED ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S INVASIVE PLANT SPECIES LIST, SHALL BE REMOVED ON ANY UPLAND AREAS WITHIN THE LIMITS OF CONSTRUCTION OF THE SITE DURING WORK OPERATIONS.
- TO SCHEDULE A LANDSCAPE INSPECTION FOR ALL COMPLETED PERMITS, USE THE "FAST TRACK" APPLICATION AT [HTTPS://FASTTRACK.OCFL.NET/PUBLICPORTAL/OC/INDEX.JSP](https://fasttrack.ocfl.net/publicportal/oc/index.jsp) AND REQUEST A CODE "270" LANDSCAPE/ZONING INSPECTION. IF HAVING TROUBLE SCHEDULING PLEASE CALL THE BUILDING SAFETY DIVISION AT (407) 836-5550. ALL PERMITS ASSOCIATED WITH THE PROJECT THAT ARE COMPLETE AND HAVE A LANDSCAPE OR ZONING HOLD SHOULD BE ENTERED IN ORDER FOR ALL LANDSCAPE/ZONING HOLDS TO BE RELEASED UPON SATISFACTORY INSPECTION. INSPECTIONS ARE CONDUCTED ON TUESDAYS AND FRIDAYS ONLY AND SHALL BE SCHEDULED NO LATER THAN MIDNIGHT ON THE NIGHT BEFORE THOSE DAYS IN ORDER TO ENSURE THAT THE INSPECTION WILL TAKE PLACE.
- PROPOSED PLANTING AREAS SHALL HAVE PERMANENT IRRIGATION SYSTEM COVERAGE. SOD AREAS ON THE SITE LABELED BAHIA SHALL NOT BE IRRIGATED.
- THE IRRIGATION SHALL BE DESIGNED AND INSTALLED TO CONFORM TO CHAPTER 37, SEC. 601-613 OF THIS CODE.

NOTES

- SEE SHEETS IR1-IR5 FOR IRRIGATION PLANS.
- ALL EXISTING INVASIVE EXOTIC PLANTS, AS LISTED ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S INVASIVE PLANT SPECIES LIST, SHALL BE REMOVED (ANY DISTURBANCE OF A WETLAND AREA REQUIRES COMPLIANCE WITH CHAPTER 15 OF THE ORANGE COUNTY CODE).
- SEE CIVIL DEMO PLAN SHEETS.
- ALL TREE TRIMMING SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.
- ALL TREES TO REMAIN, MUST BE PROTECTED BY THE TREE PROTECTION BARRICADES. PROTECTIVE BARRICADES SHALL REMAIN IN PLACE UNTIL LAND ALTERATION AND CONSTRUCTION ACTIVITIES AREA COMPLETED.
- DO NOT TRENCH WITHIN THE DROPLINE OF EXISTING TREES TO REMAIN.
- ANY ROOTS DAMAGED SHALL BE PROPERLY ROOT PRUNED BY A CERTIFIED ARBORIST WITH A SHARP CUTTING TOOL AS TO NOT TEAR THE ROOT. NO LARGE SUPPORTING ROOTS ON TREES TO REMAIN SHALL BE CUT.
- ALL PROPOSED TREES SHALL BE SET BACK A MINIMUM OF 6' FROM ANY HARD SURFACE.
- THE LANDSCAPE SHALL BE INSTALLED IN ACCORDANCE TO THE ORANGE COUNTY CODE CHAPTER 24.
- SEE SHEET L3 FOR ADDITIONAL LANDSCAPE NOTES.
- LANDSCAPE PLAN SET CONSISTS OF TWO (2) PLANT SCHEDULES - ONE FOR THE POND AND ONE FOR THE HOTEL SITE.

PLANT SCHEDULE POND (SEE SHEET L3 FOR HOTEL PLANT SCHEDULE)

TREES	QTY	BOTANICAL NAME	COMMON NAME	HT.	SPR.	CALIPER	FL-FRIENDLY	
LAG MUS	12	Lagerstroemia 'Muskogee'	25' GAL. MIN.	7 FT. MIN.	5'-6" MIN.	2" COMB. CAL. MIN.	YES	
TAX DIS	7	Taxodium distichum	Bald Cypress	14'-16'		4" MIN.	YES	
SHRUBS	QTY <th>BOTANICAL NAME</th> <th>COMMON NAME</th> <th>CONT.</th> <th>HT.</th> <th>SPR.</th> <th>FLORIDA-FRIENDLY</th> <th>SPACING</th>	BOTANICAL NAME	COMMON NAME	CONT.	HT.	SPR.	FLORIDA-FRIENDLY	SPACING
LOR R38	30	Loropetalum chinense Var. Rubrum Ruby	Redleaf Chinese Fringe Bush	3 GAL.	14"	16"	YES	36" o.c.
MVR CE2	117	Myrica cerifera	Wax Myrtle	3 GAL.	24"	24"	YES	36" o.c.
VIB ODD	84	Viburnum odoratissimum	Sweet Viburnum	3 GAL.	24"	18"	YES	36" o.c.
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HT.	SPR.	FLORIDA-FRIENDLY	SPACING
SPA BAK	225	Spartina bakeri	Sand Cord Grass	1 GAL.	18"		YES	36" o.c.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HT.	SPR.	FLORIDA-FRIENDLY	SPACING
DIA TAS	122	Dianella lasmanica 'Variegata'	Flax Lily	1 GAL.	12" MIN.	12" MIN.	YES	24" o.c.
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HT.	SPR.	FLORIDA-FRIENDLY	SPACING
PAS ARG	17,214 sf	Paspalum notatum 'Argentine'	Bahia Grass	SOD			YES	
STE AUG	2,555 sf	Stenotaphrum secundatum 'Floritam'	Floritam St. Augustine Sod	SOD			YES	

ORGANIC MULCH - PINE STRAW MULCH TO BE APPLIED TO ALL PLANTING BEDS, 3 INCH THICK DEPTH. CYPRESS MULCH SHALL NOT BE USED. PINE STRAW MULCH AS NOTED TO COVER EXPOSED SOILS NEAR CONSERVATION EASEMENT.

PLANT SCHEDULE NOTES:

- SOD QUANTITIES ARE SQUARE FOOT ESTIMATE; ANY DISTURBED AREAS ON SITE OR WITHIN THE R.O.W. THAT ARE NOT COVERED WITH LANDSCAPE MATERIAL OR SOD SHALL BE SODDED. SOD QUANTITIES SHOWN IN SCHEDULE ARE ESTIMATES AND FOR REFERENCE ONLY - ADDITIONAL SOD WILL BE REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING AND VERIFYING REQUIRED SOD QUANTITIES PRIOR TO BID.
- ALL TREES, PALMS, SHRUBS, GROUND COVERS AND OTHER PLANTS SHALL CONFORM TO THE STANDARD OF FLORIDA NO. 1 OR BETTER AS GIVEN IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS BY FLORIDA DEPARTMENT OF AGRICULTURE, PART I AND II. PLANT MATERIAL SHALL ALSO CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. (ANSI) BULLETIN Z 60.1 - 1990 AND AS REVISED. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- THE CALIPER OF INSTALLED TREES LISTED AS BEING UP TO 4 INCHES SHALL BE MEASURED 6 INCHES ABOVE THE GROUND, AND THE CALIPER OF INSTALLED TREES LISTED AS MORE THAN 4 INCHES SHALL BE MEASURED 12 INCHES ABOVE THE GROUND.



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Best Western Premier
 AT OIA
 4315 MCCOY ROAD
 ORLANDO, FLORIDA

Seal
 Christopher J Anuszkiewicz
 2020.12.21
 11:12:17
 '00/05-

PERMIT SUBMITTAL LANDSCAPE PLAN
 12/17/2020 COMMENTS
 11/13/2020 ADDED EASTERN HEDGE
 09/09/2020 COMMENTS
 REV DATE DESCRIPTION
 Date: MAY 29, 2020
 Job No.: 7002
 Drawn By: GLA
 Checked By: CJA
 Sheet Title

LANDSCAPE PLAN
 Sheet No.
L2

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