



Interoffice Memorandum

DATE: April 7, 2021

TO: Katie A. Smith, Deputy Clerk of the Board of County Commissioners, County Comptroller's Office

THROUGH: Cheryl Gillespie, Supervisor, Agenda Development Office

FROM: Lisette M. Egipciaco, Development Coordinator Planning Division *jme*

CONTACT PERSON(S): Lisette M. Egipciaco, Development Coordinator Planning Division 407-836-5684 Lisette.Egipciaco@ocfl.net

SUBJECT: Request for Board of County Commissioners Public Hearing

Project Name: Village F Master PD / Parcels N-1, N-4, N-5, N-6, N-7, N-17, N-18, N-19 & N-20 Preliminary Subdivision Plan Case # CDR-20-07-210

Type of Hearing: Substantial Change

Applicant(s): Adam Smith VHB, Inc. 225 E Robinson Street Suite 300 Orlando, Florida 32801

Commission District: 1

General Location: South of Summerlake Park Boulevard / West of Seidel Road

Parcel ID #(s) 33-23-27-0000-00-025

of Posters: 0

Use: 211 Single-Family Residential Dwelling Units

Size / Acreage: 70.28 gross acres

BCC Public Hearing Required by: Orange County Code, Chapter 34, Article III, Section 34-69 and Chapter 30, Article III, Section 30-89

Clerk's Advertising Requirements: (1) At least 15 days before the BCC public hearing date, publish an advertisement in the Legal Notices section of *The Orlando Sentinel* describing the particular request, the general location of the subject property, and the date, time, and place when the BCC public hearing will be held;

and

(2) At least 10 days before the BCC public hearing date, send notices of BCC public hearing by U.S. mail to owners of property within 300 feet of the subject property and beyond.

Spanish Contact Person: Para más información referente a esta vista pública, favor de comunicarse con la División de Planificación (Planning Division) al número 407-836-8181.

Advertising Language:

This request is to revise the layout of Phase 4; District 1; South of Summerlake Park Boulevard / West of Seidel Road.

In addition, a waiver from Orange County Code is requested;

A waiver from Orange County Code Section 34-209 34-152(c) is requested to allow lots to front a mew, park, open space, etc. in lieu of the 20-foot access to a dedicated paved street.

Material Provided:

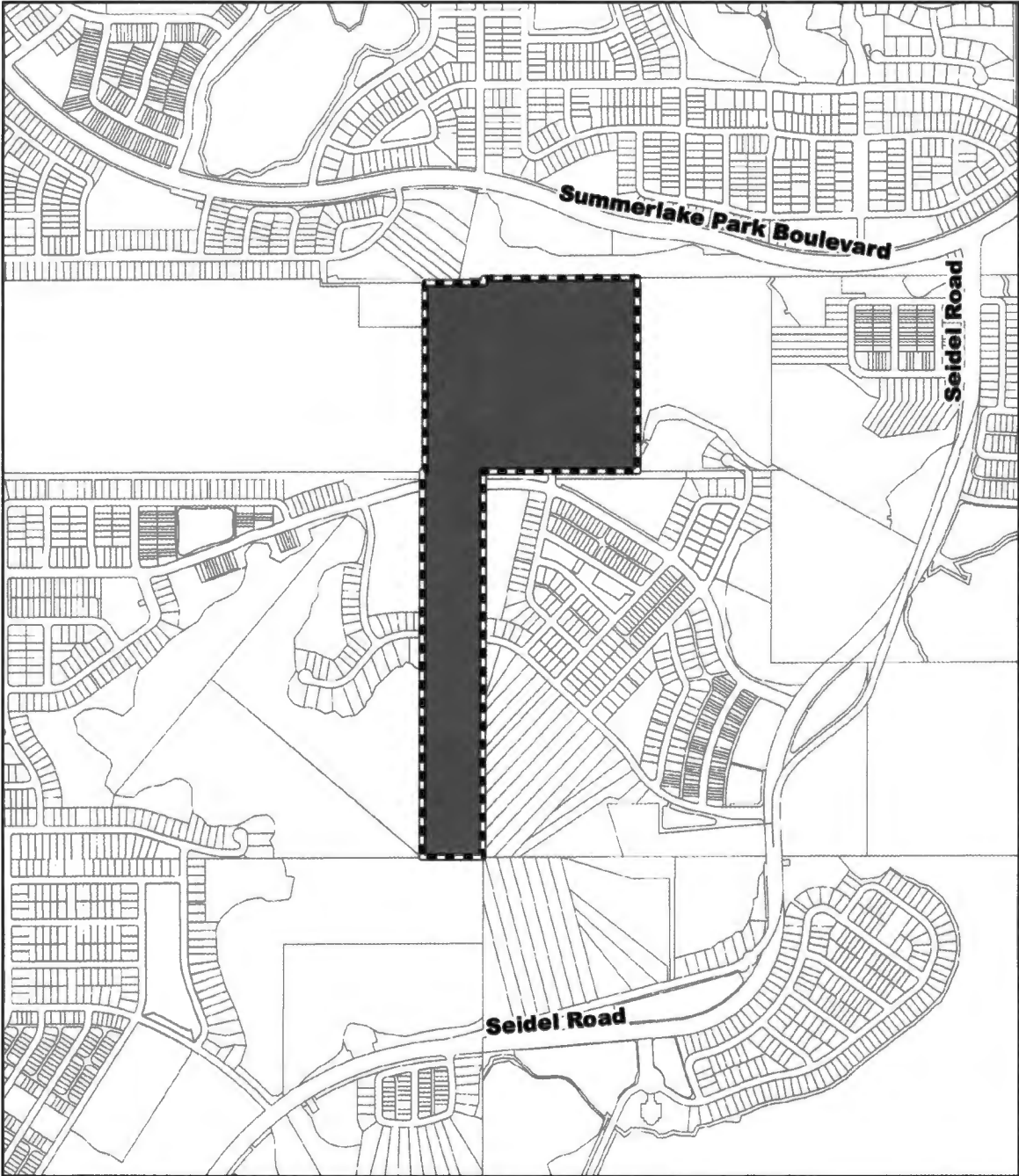
- (1) Names and last known addresses of property owners (*via email from Fiscal and Operational Support Division*);
- (2) Location map (*to be mailed to property owners*)

Special Instructions to Clerk (if any):

Unless stated otherwise, the public hearing should be advertised to begin at 2:00 p.m., or as soon thereafter as the matter may be heard.

Please notify Lisette Egipciano of the scheduled date and time. The Planning Division will notify the applicant.

Attachments (location map and site plan sheet)

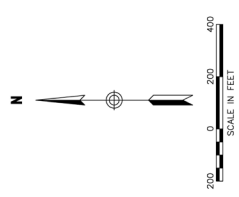


 **Subject Property**



1 inch = 900 feet

For questions regarding this map, please call Lisette Egipciano at 407.836.5684

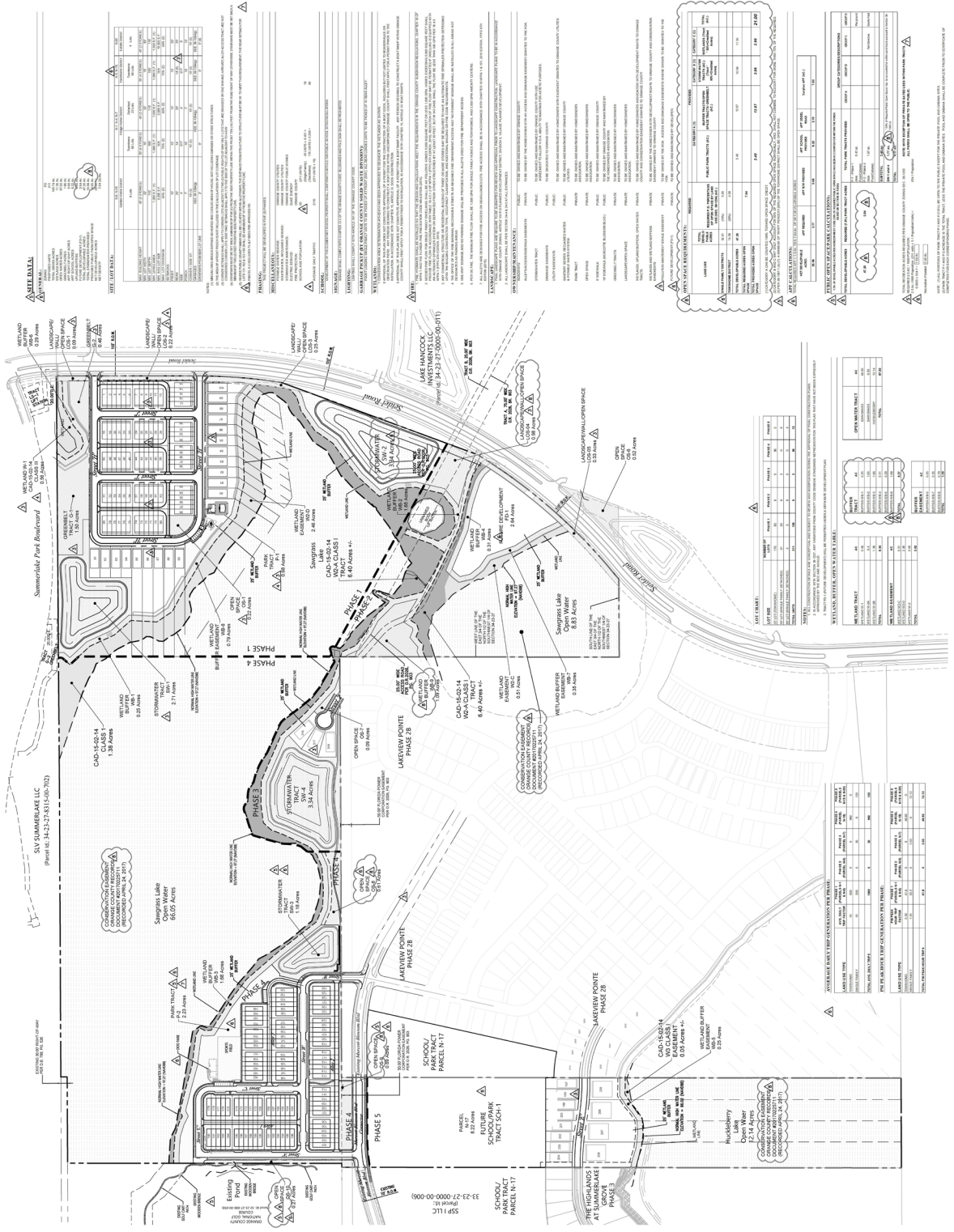


NO.	REVISION	DATE
8	Final P&Z Comments	10/19/2015
7	Final P&Z Comments	11/19/2015
6	Final P&Z Comments	11/19/2015
5	Final P&Z Comments	11/19/2015
4	Final P&Z Comments	11/19/2015
3	Final P&Z Comments	11/19/2015
2	Final P&Z Comments	11/19/2015
1	Final P&Z Comments	11/19/2015

Prepared by: **RP/AS**
 Checked by: **RP/AS**
 Date: **January 28, 2015**

Village F.P.D.
Parcels N-1, N-4, N-5, N-6,
N-7, N-17, N-18, N-19, N-20
 Orange County, Florida
 Preliminary Subdivision Plans

Vertical Datum NAVD88
C-3
 DATE: **Mar. 17, 2021**
 6190000



SHEET DATA: PROJECT: **VILLAGE F.P.D. PARCELS N-1, N-4, N-5, N-6, N-7, N-17, N-18, N-19, N-20**
 SHEET NO.: **C-3**
 TOTAL SHEETS: **10**
 DATE: **Mar. 17, 2021**
 PREPARED BY: **RP/AS**
 CHECKED BY: **RP/AS**
 DATE: **January 28, 2015**