



Interoffice Memorandum

October 28, 2022

TO: Mayor Jerry L. Demings
-AND-
County Commissioners

FROM: Jon V. Weiss, P.E., Director
Planning, Environmental, and Development
Services Department

CONTACT PERSON: David D. Jones, P.E., CEP, Manager
Environmental Protection Division
(407) 836-1406

SUBJECT: November 29, 2022 – Public Hearing
Shoreline Alteration/Dredge and Fill Permit Application for John
and Carrie Russo (SADF-22-05-017)

The applicants, John and Carrie Russo, are requesting a Shoreline Alteration/Dredge and Fill (SADF) permit to authorize the construction of a replacement vinyl seawall, faced with riprap and plantings, along the shoreline of Lake Down. The property is located at 10844 Bayshore Drive, Windermere, FL 34786 (Parcel ID No. 05-23-28-0545-00-020) in District 1.

The applicants are proposing to construct approximately 206 feet of replacement vinyl seawall directly in front of an existing wooden wall that is in poor condition. The existing wall meanders along the shoreline and does not appear to tie into the adjacent seawall to the north. The replacement wall will be placed no further than one foot in front of the existing wall and will include two six-foot returns, one on either side of the seawall.

Environmental Protection Division (EPD) staff did not find a permit for the existing wooden wall but have determined that the structure was constructed sometime between 2010 and 2011, prior to when the applicants purchased the property in 2013. Due to the fact that the existing seawall was constructed by a previous owner, no enforcement action has been taken.

There is no seawall present on the adjacent lot to the south; however, there is a seawall present on the adjacent lot to the north and there are several other seawalls present on other properties on Lake Down. Based on prior Board direction, riprap and plantings are required for new seawalls and replacement seawalls; therefore, the applicants will install riprap and plantings waterward of the replacement seawall.

In accordance with Orange County Code, Chapter 33, Article IV, Section 33-129(d), notification of the public hearing was sent to property owners within 500 feet of the project site. EPD has received no objections to the request.

Pursuant to Orange County Code, Chapter 33, Article IV, EPD has evaluated the proposed SADF permit application and required documents and has made a finding that the request is consistent with Section 33-129.

Staff Recommendation

Approval of the SADF permit, subject to the following conditions:

Specific Conditions:

1. This permit shall become final and effective upon expiration of the 30-calendar day appeal period following the date of issuance, unless an appeal has been filed within this timeframe. Any appeal shall stay the effective date of this permit until all appeals are resolved.
2. Construction activities shall be completed in accordance with the engineered plans ('Cover Sheet', 'Site Plan', 'Seawall Plan', and 'Elevations') signed and sealed by Scott A. Santomauro, P.E. and received by the Environmental Protection Division (EPD) on October 6, 2022. The permitted activity must commence within six months and be completed within two years from the date of issuance of the permit. In the event that the project has not commenced within six months or been completed within two years, this permit shall be void and a new permit application with fee will be required.
3. Riprap shall be installed waterward of the new vinyl seawall in accordance with the engineered plans signed and sealed by Scott A. Santomauro, P.E. and received by EPD on October 6, 2022. The riprap shall be installed at a two (horizontal) to one (vertical) slope, extend at least halfway up the face of the seawall, and measure between 12 inches to three feet in diameter. The installation of riprap must commence within 30 days and be completed within 60 days from the date of completion of construction of the seawall.
4. Installation of plantings must be initiated within 30 days and be completed within 60 days of installation of the riprap in accordance with the engineered plans signed and sealed by Scott A. Santomauro, P.E., received by EPD on October 6, 2022, and the planting plan provided by the applicants, received by EPD on September 21, 2022. After one year, if 80 percent areal coverage of native emergent or aquatic plant species is not established, additional plantings may be required.
5. The permittee may maintain a clear access corridor below the Normal High Water Elevation (NHWE) of 98.52 feet (NAVD88) above mean sea level for Lake Down, not to exceed 20 percent of the total shoreline length in width, and of sufficient length waterward from the shoreline to allow access to open water. Any existing or future structures, such as a boat dock, must be located within this corridor.
6. This permit does not authorize any dredging or filling except that which is necessary for the installation of the seawall, riprap, and native vegetation plantings, as depicted on the approved plans.
7. In the event that the permitted activity has not been completed within two years, the Environmental Protection Officer may grant a permit extension of up to one additional year. Requests for permit extension must be submitted to EPD prior to the expiration date. No changes to the approved plans will be authorized with a permit extension.

General Conditions:

8. Subject to the terms and conditions herein, the permittees are hereby authorized to perform or cause to be performed, the impacts shown on the application and the approved drawings, plans, and other documents attached hereto or on file with EPD.
9. The permittees bind themselves and any successors to comply with the provisions and conditions of this permit. If EPD determines at any time that activities are not in

accordance with the conditions of the permit, work shall cease and the permit may be revoked immediately by the Environmental Protection Officer. Notice of the revocation shall be provided to the permit holders and/or agent promptly thereafter.

10. A copy of this permit, along with EPD stamped and approved drawings, should be taken to the Orange County Zoning Division (OCZD) at 201 South Rosalind Avenue for approval. For further information, please contact the OCZD at (407) 836-5525.
11. After approval by the OCZD, the certified site plans will need to be reviewed by the Orange County Building Safety Division (OCBSD) in order to obtain a building permit. For further information, please contact the OCBSD at (407) 836-5550.
12. Prior to construction, the permittees shall clearly designate the limits of construction on-site. The permittees shall advise the contractor that any work outside the limits of construction, including clearing, may be a violation of this permit.
13. Construction plans shall be submitted to EPD prior to initiating any construction activities for review and approval. The construction plans shall include, but are not limited to, a site plan clearly depicting the location of the seawall.
14. The permittees shall require the contractor to maintain a copy of this permit, complete with all approved drawings, plans, conditions, attachments, exhibits, and modifications in good condition at the construction site. The permittees shall require the contractor to review the permit prior to commencement of the activity authorized by this permit. The complete permit shall be available upon request by Orange County staff.
15. Issuance of this permit does not warrant in any way that the permittees have riparian or property rights to construct any structure permitted herein and any such construction is done at the sole risk of the permittees. In the event that any part of the structure permitted herein is determined by a final adjudication issued by a court of competent jurisdiction to encroach on or interfere with adjacent property owner's riparian or other property rights, the permittees agree to either obtain written consent or remove the offending structure or encroachment within 60 days from the date of adjudication. Failure to comply shall constitute a material breach of this permit and shall be grounds for its immediate revocation.
16. This permit does not release the permittees from complying with all other federal, state, and local laws, ordinances, rules and regulations. Specifically, this permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittees or create in the permittees any property rights, or any interest in real property, nor does it authorize any entrance upon or activities upon property which is not owned or controlled by the permittees, or convey any rights or privileges other than those specified in the permit and Chapter 33, Article IV of the Orange County Code.
17. If these permit conditions conflict with those of any other regulatory agency, the permittees shall comply with the most stringent conditions. The permittees shall immediately notify EPD of any conflict between the conditions of this permit and any other permit or approval.

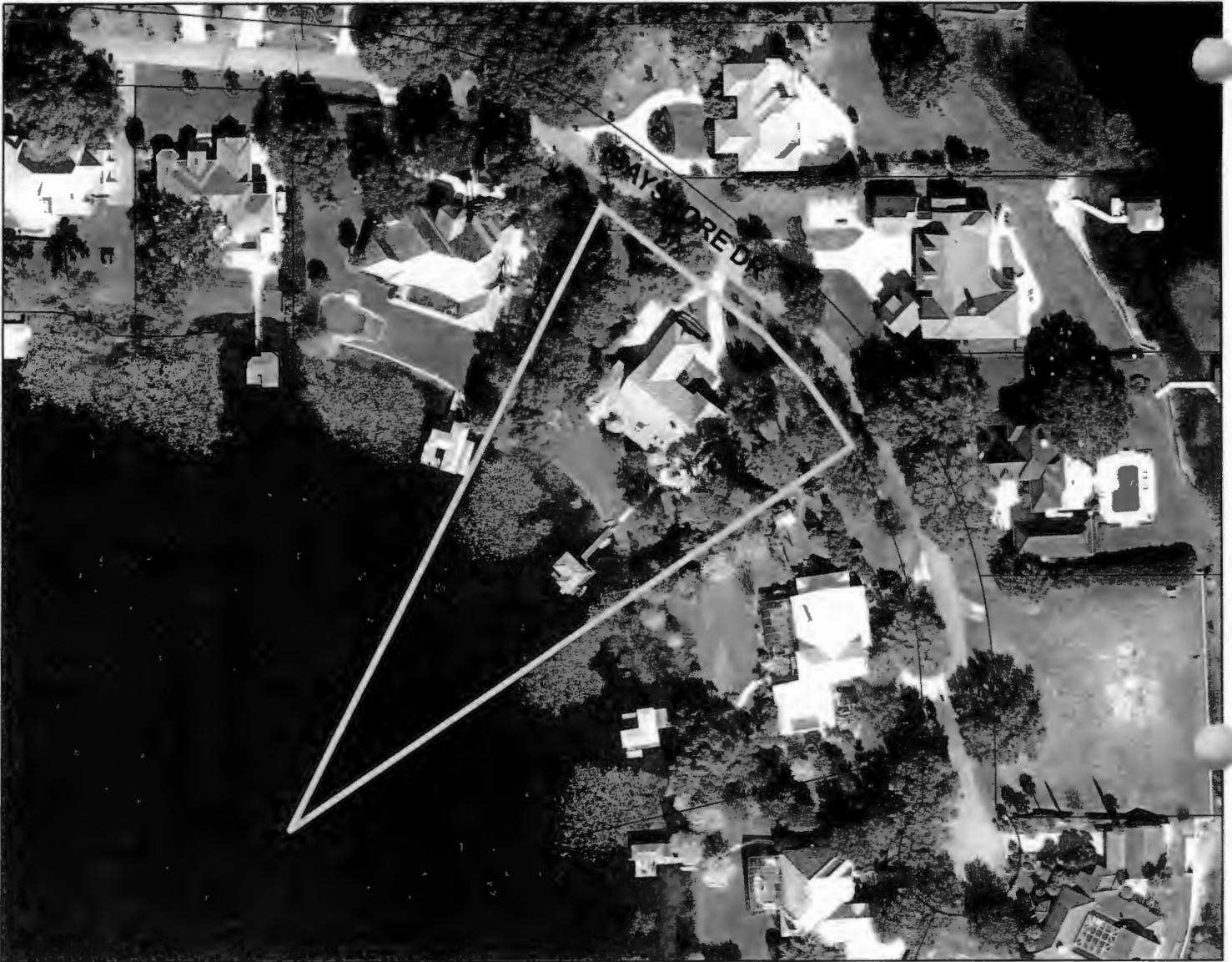
18. The permittees are hereby advised that Section 253.77 Florida Statutes (FS), states that a person may not commence any excavation, construction, or other activity involving the use of sovereignty or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, without obtaining the required lease, license, easement or other form of consent authorizing the proposed use. Therefore, the permittees are responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.
19. Should any other regulatory agency require changes to the property or permitted activities, the permittees shall provide written notification to EPD of the change prior to implementation so that a determination can be made whether a permit modification is required.
20. EPD shall have final construction plan approval to ensure that no modification has been made during the construction plan process.
21. The permittees shall immediately notify EPD in writing of any previously submitted information that is later discovered to be inaccurate.
22. EPD staff shall have permission to enter the site at any reasonable time to inspect the property for conformity with the plans and specifications approved by the permit.
23. The permittees shall hold and save the County harmless from all damages, claims or liabilities, which may arise because of the activities authorized by the permit.
24. All costs, including attorney's fees, incurred by the County in enforcing the terms and conditions of this permit shall be required to be paid by the permittees.
25. The permittees agree that any dispute arising from matters relating to this permit shall be governed by the laws of Florida, and initiated only in Orange County.
26. Turbidity and sediments shall be controlled to prevent violations of water quality pursuant to Rules 62-302.500, 62-302.530(70) and 62-4.242 Florida Administrative Code. Best Management Practices, as specified in the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual, shall be installed and maintained at all locations where the possibility of transferring suspended solids into wetlands and/or surface waters may occur due to the permitted activity. If site specific conditions require additional measures, then the permittees shall implement them as necessary to prevent adverse impacts to wetlands and/or surface waters.
27. Pursuant to Section 125.022 FS, issuance of this permit by the County does not in any way create any rights on the part of the permittees to obtain a permit from a state or federal agency and does not create any liability on the part of the County for issuance of the permit if the permittees fail to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertake actions that result in a violation of state or federal law.
28. Pursuant to Section 125.022 FS, the permittees shall obtain all other applicable state or federal permits before commencement of the activity authorized herein.

ACTION REQUESTED: **Acceptance of the findings and recommendation of the Environmental Protection Division staff and approval of Shoreline Alteration/Dredge and Fill Permit SADF-22-05-017 for John and Carrie Russo, subject to the conditions listed in the staff report. District 1**

DDJ/JW: jk

Attachments

Shoreline Alteration/Dredge and Fill Permit Request

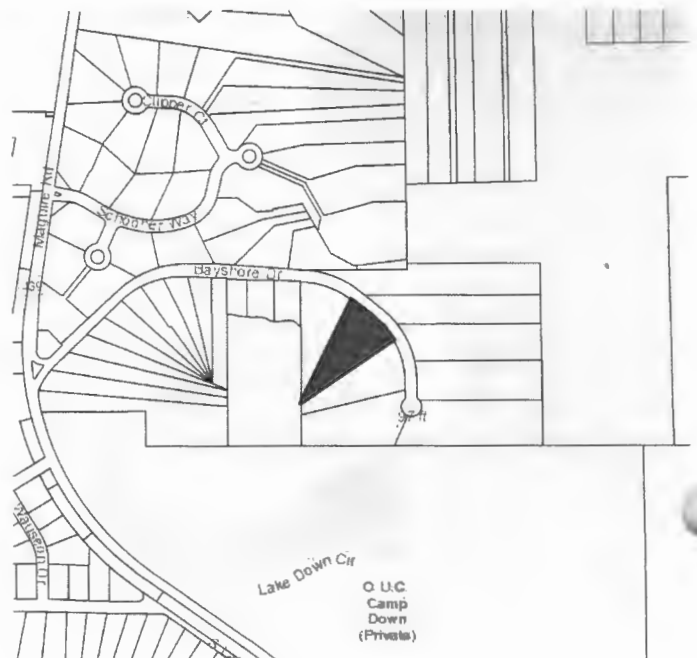


**Shoreline Alteration/Dredge and Fill
Permit Request
SADF-22-05-017
District #1**

**Applicants: John and Carrie Russo
Address: 10844 Bayshore Drive
Parcel ID No.: 05-23-28-0545-00-020**

Project Site

Property Location



Cove Points

MARINE CONSTRUCTION

Sheet List	
Sheet Number	Sheet Name
A0.1	COVER SHEET
A0.2	SITE PLAN
A0.3	SEAWALL PLAN
A0.4	ELEVATIONS
S0.1	SEAWALL DETAILS
S0.2	TURBIDITY BARRIER
S0.3	
S0.4	
S0.5	

The Russo Residence
 10844 Bay Shore Drive
 Windermere, FL 34786
 Parcel ID #052328054500020
New Seawall Build

SCOPE OF WORK:

- CONSTRUCT NEW RIGID VINYL SEAWALL
- ALL TO BE MARINE GRADE LUMBER & GALVANIZED FASTENERS

1. TURBIDITY CONTROL: A. PROVIDE TYPE III FLOATING TURBIDITY BARRIERS AROUND ALL WORK AREAS AS MANUFACTURED BY TRITON OR EQUIVALENT.
 2. CONSTRUCTION REQUIREMENTS: A. MAINTAIN A SAFE AND CLEAN SITE. PROVIDE BARRICADES AS NEEDED TO ISOLATE WORK AREAS. CLEAN UP AND DISCARD TRASH AND UNUSABLE LUMBER AT THE END OF EACH WORK DAY. B. STORE MATERIALS IN LOCATIONS APPROVED BY OWNER OR MANAGEMENT. C. PLAN WORK TO PRECLUDE DISRUPTION OF ACCESS TO EXISTING AREAS. D. INSTALL TURBIDITY BARRIERS PRIOR TO INSTALLATION OR REMOVAL OF PILINGS. MONITOR AND ADJUST AS NEEDED TO PREVENT SILT LADEN WATER FROM ESCAPING INTO WATERWAY. E. DISCARD UNEVENLY CUT OR OUT OF TRUE LUMBER THAT MAY EFFECT THE QUALITY OF WORK. F. SET ALL WORK ACCURATELY TO REQUIRED LEVELS AND LINES, WITH MEMBER PLUMB AND TRUE AND ACCURATELY CUT AND FITTED. INSTALL FASTENERS WITHOUT SPLITTING OF WOOD MEMBERS. PRE-DRILL AS REQUIRED. G. ALL SURFACES RESULTING FROM FIELD CUTS OF LUMBER AND PILES, INCLUDING BOLT HOLES, SHALL BE FIELD TREATED WITH PRESERVATIVE IN ACCORDANCE WITH APWA STANDARDS FOR CARE OF TREATED WOOD H. ALL LUMBER PLACED VERTICALLY SHALL BE PLACED WITH VERTICAL CROWNS UP, AND ALL LUMBER PLACED HORIZONTALLY SHALL BE PLACED WITH HORIZONTAL CROWNS UP (BARK SIDE UP). I. PLACE DECKING AS PER MANUFACTURERS SPECIFICATIONS. J. STAINLESS STEEL TYPICAL TO MARINE CONSTRUCTION. ALL THRU BOLTS SHALL UTILIZE A GALVANIZED STEEL NUT AND LOCK WASHER (OR STAINLESS STEEL NYLOCK WASHER).

DESIGN STATEMENT:

DESIGN WIND SPEED = 140MPH
 RISK CATEGORY 1
 WIND EXPOSURE - C

THIS MEETS THE REQUIREMENTS OF ASCE 7-16 & FLORIDA BUILDING CODE 2020.

PROJECT LOCATION



10844 Bay Shore Drive, Windermere, FL 34786



No.	Description	Date

Scott A. Santomauro
 P.E.
 7099-10-06
 261-117-0400

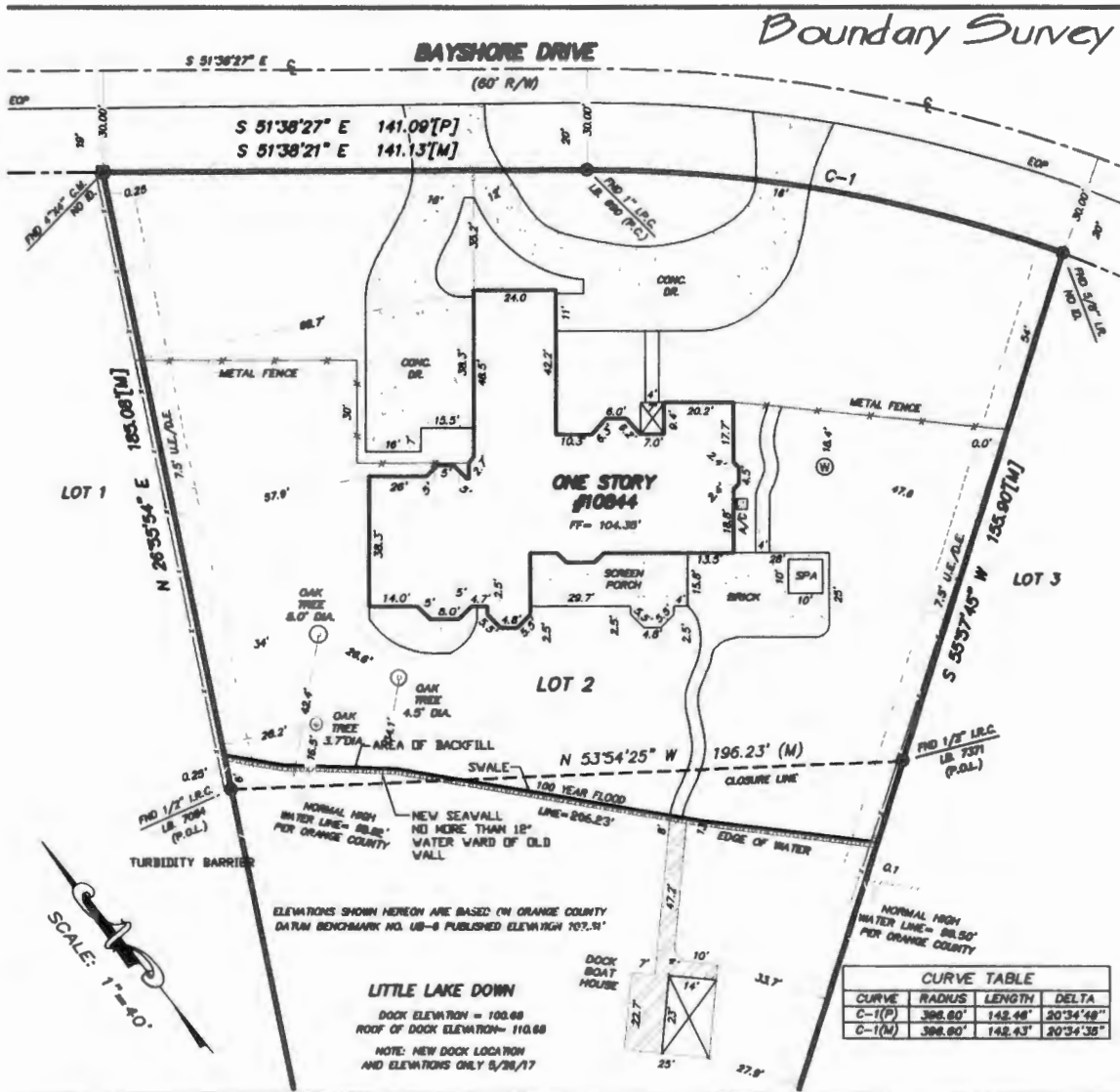
DBSS ENGINEERING
 SCOTT A. SANTOMAURO
 FL REG. #65513
 PHONE 321-251-6006

Cove Points
 MARINE CONSTRUCTION

RUSSO
 COVER SHEET
 10844 Bay Shore Drive
 Windermere, FL 34786
 Client approved (checked) prior to printing and production. Changes requested by the client after approval shall be made by Change order only.

Less Started 03.24.2022
 Drawn by CP/MC
 Checked by RG/emo
 Scale

0.1



LITTLE LAKE DOWN
 DOCK ELEVATION = 100.68
 ROOF OF DOCK ELEVATION = 110.68
 NOTE: NEW DOCK LOCATION
 AND ELEVATIONS ONLY 5/28/17

CURVE TABLE			
CURVE	RADIUS	LENGTH	DELTA
C-1(P)	398.60'	142.46'	20°34'49"
C-1(M)	398.60'	142.43'	20°34'38"

Boundary Survey

BAYSHORE DRIVE

No.	Description	Date

Professional Engineer
 No. 88649
 STATE OF FLORIDA
 PROFESSIONAL ENGINEERING

DBSS ENGINEERING
 SCOTT A. SANTOMAURO
 FL REG. #85513
 PHONE 321-251-8006



RUSSO
SITE PLAN
 10844 Bay Shore Drive
 Windermere, FL 34786

Client approval required prior to publication and production. Changes requested by the client after approval shall be made by Change order only.

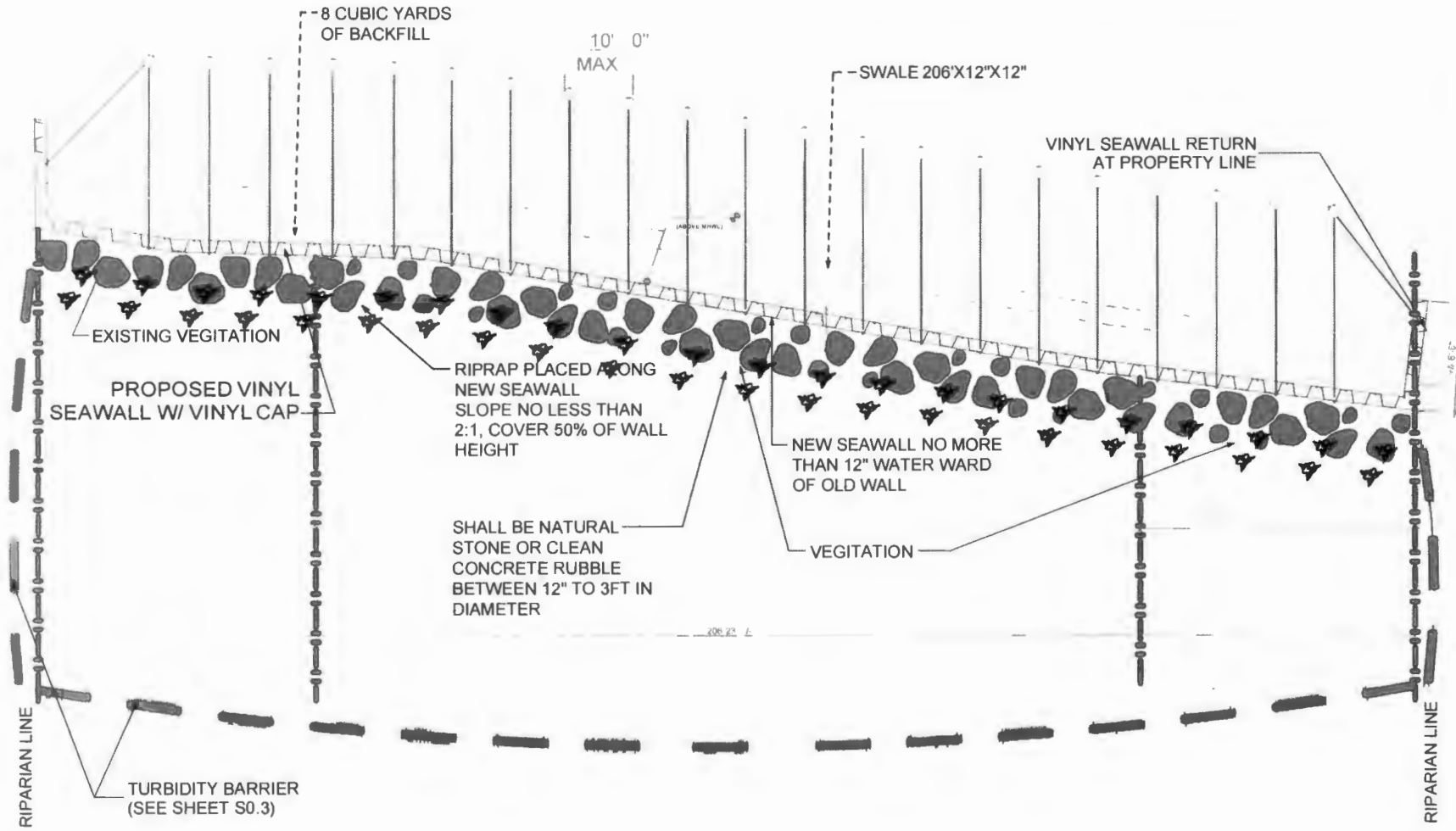
Drawn by: 03.24.2022
 Checked by: CPB/C
 Scale: RGS/terro

PROJECT AREAS:

- SEAWALL = 206.23' +/- LF.

GENERAL NOTES:

1. PILES TO BE DRIVEN /DRILLED OR JETTED TO A MINIMUM OF 1:1 EXPOSURE.
2. EVERLAST 3.1 VINYL PANELS EQUAL)
3. ALL HARDWARE TO BE GALVANIZED STEEL.
4. TIE-BACK RODS TO BE GALVANIZED STEEL.
5. COMPENSATORY STORAGE VOLUME WILL BE 1:1 RATIO FOR 8 CUBIC YARDS OF BACKFILL.



Per Client/Owner use only	
No.	Date

Engineer of Record

DBSS ENGINEERING
SCOTT A. SANTOMAURO
FL REG. #65513
PHONE 321-251-8006



RUSSO
SEAWALL PLAN
10844 BAY SHORE DRIVE
WINDERMERE, FL 34786

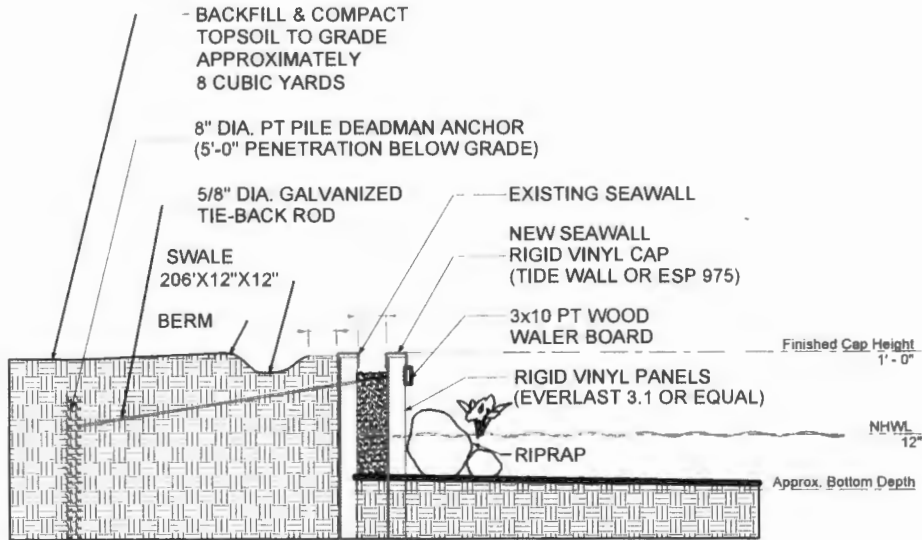
Client approval required prior to permitting and production. Changes requested by the client after approval will be made by Client and/or DBSS.

① SEAWALL PLAN
3/8" = 1'-0"

Issue Status	03.24.2022
Drawn by	CPMC
Checked by	RGater

A0.3

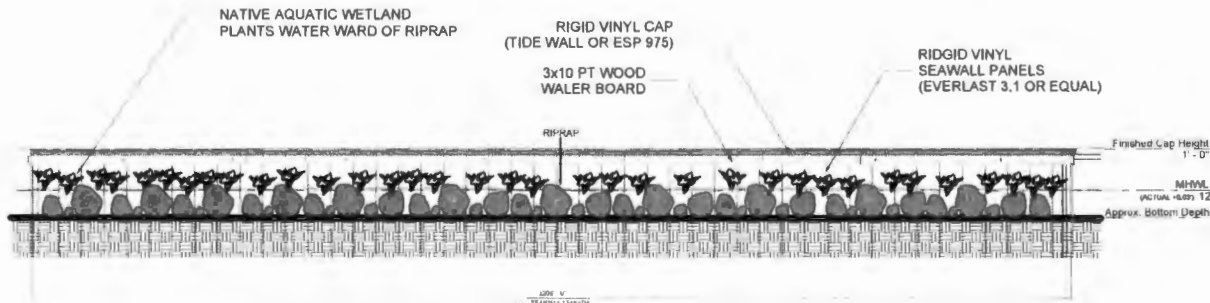
① WEST ELEVATION
1/4" = 1'-0"



GENERAL NOTES:

1. PANELS & PILES TO BE DRIVEN /DRILLED OR JETTED TO A MINIMUM OF 1:1 EXPOSURE.
2. RIGID VINYL PANELS (EVERLAST 3.1)
3. VINYL SEAWALL CAP
4. TIE-BACK RODS TO BE 5/8" GALVANIZED STEEL.
5. COMPENSATORY STORAGE VOLUME WILL BE 1:1 RATIO FOR 8 CUBIC YARDS OF BACKFILL.

② NORTH ELEVATION
1/4" = 1'-0"



No.	Description	Date

SCOTT A. SANTOMAURO
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 88888

DBSS ENGINEERING
SCOTT A. SANTOMAURO
FL REG. #05513
PHONE 321-251-8008

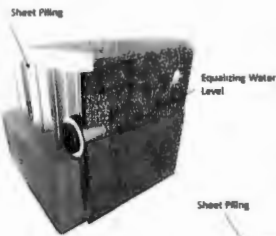


RUSSO
ELEVATIONS
10844 BAY SHORE DRIVE
WINDERMERE, FL 34786

Client approval required prior to permitting and approval shall be made by Change order only.

Date Printed	03.24.2022
Drawn by	CP/MC
Checked by	RJ/Gibson
Scale	

A0.4



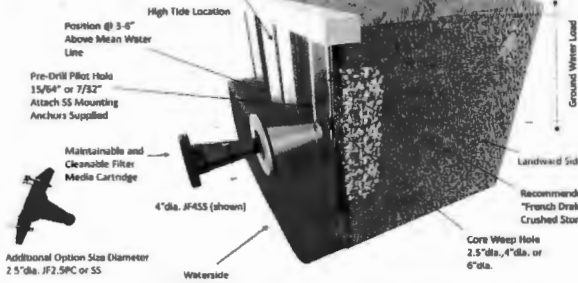
Step	Installation Guide*
(1)	Prepare the installation location by ensuring the wall is smooth and level to allow the filter housing to install flush with the wall. Care a hole in that the bottom rim of the wall 3/2 inches above the mean waterline or higher. Core through the thickness of the wall and far enough for the housing to slide fully into the wall. Please note, if there is an algae or bioactive layer, ensure the housing is 2-4" above this line. Insert the ET Filter housing into the core hole. Rotate the housing until the ET Filter legs is embedded in the wall.
(2)	For best results, a flexible material such as crushed #57 stone should be placed behind the wall around the filter. For installations where digging behind the wall is not possible and no flexible material exists at the installation location, consider pouring further into the ground and pushing flexible material such as sand, pea gravel, crushed stone etc. through the core entry hole prior to filter installation.
(3)	Mount the housing onto the wall by pre-drilling 15/64" or 7/32" pilot holes into the wall using the existing holes in the housing as a guide. Attach the housing to wall with the provided stainless steel, self-drilling screws through the housing plate holes into the wall.

ET Filter System LLC
 14 North Canal of Ave
 Casey, Illinois 62420
 United States
 800-475-3523

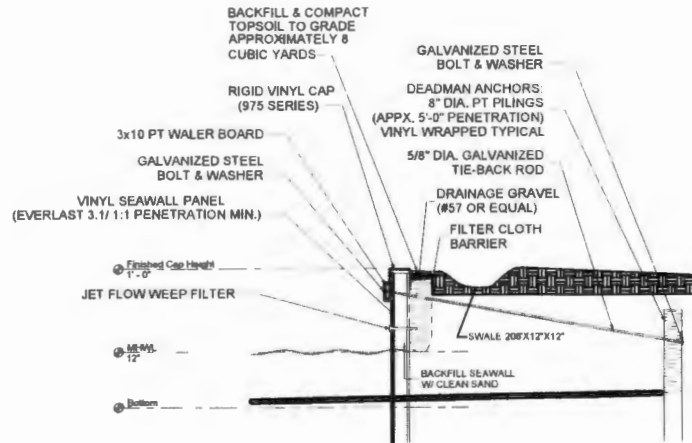
**Standard Weep
 Hole Component
 Installation Detail**

US PAT 7,815,148
 Made in the USA

Description:
 Sheet Piling Is:
 Steel, Vinyl,
 Composite,
 Aluminum
 Date: 5/1/2017
 Drawn By: DWH

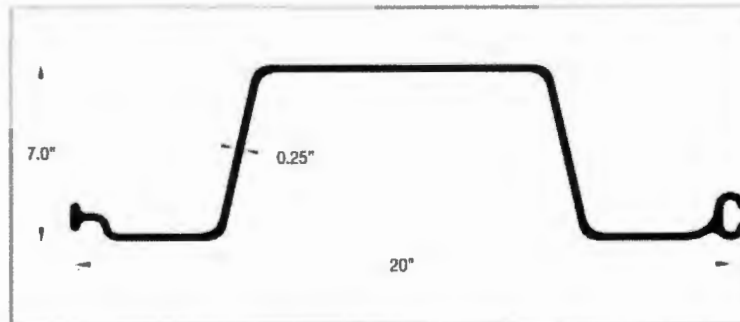


3D WEEP FILTER DETAIL



SEAWALL DETAIL

EVERLAST ESP 3.1 VINYL SHEET PILE (Technical Data Sheet)
 SYNTHETIC PRODUCTS LLC



Strength Rating (M)	Lbs-Ft/Pt	3,129	Modulus of Elasticity (E)	psi	380,000
Allowable Shear (V)	Lbs/Ft	2,536	Co-Extruded		Yes
Thickness (t)	inches	0.25	Section Depth	inches	7
Section Modulus (Z)	in ³ /ft	11.4	Section Width	inches	20
Moment of Inertia (I)	in ⁴ /ft	39.8	UV Stabilized		Yes
Ultimate Tensile Stress	psi	6,300	Standard	sheets/ bundle	20 & 10
Creep Limited stress	psi	4,000	Packaging		

EVERLAST SPEC SHEET

No.	Description	Date

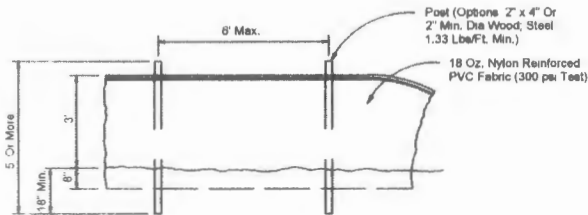
Professional Engineer
 No. 88869
 STATE OF FLORIDA
 CIVIL ENGINEERING
 DBSS ENGINEERING
 SCOTT A. SANTOMAURO
 FL REG. #05513
 PHONE 321-251-8006

Cove Points
 MARINE CONSTRUCTION

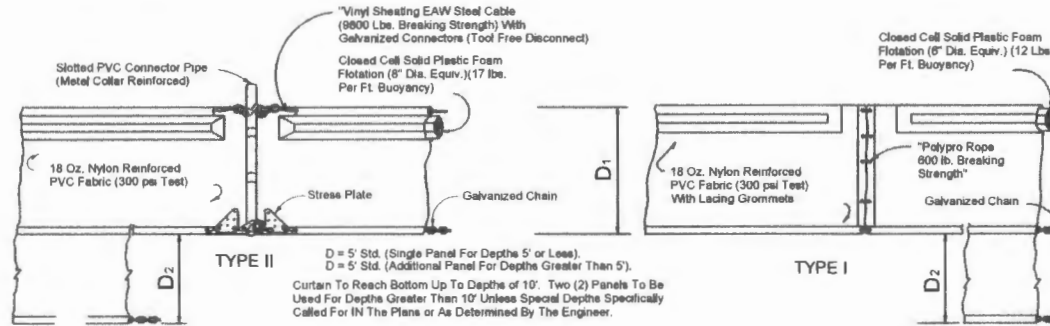
RUSSO
 SEAWALL DETAILS
 10844 BAY SHORE DRIVE
 WINDERMERE, FL 34786
 Client approval required prior to permitting and construction. All drawings are prepared by the engineer and approved under the license of the engineer.

Date: 03.24.2022
 Drawn by: CP/MC
 Checked by: RD/alpha
 Scale:

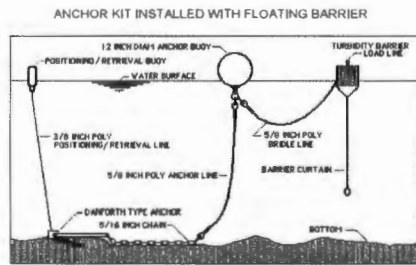
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STAKED TURBIDITY BARRIER



FLOATING TURBIDITY BARRIER



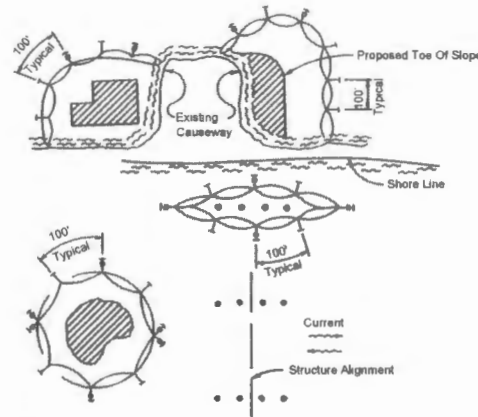
INSTALLATION INSTRUCTIONS

To install an Anchor Kit on one side of Floating Turbidity Barrier, Type 2 or 3:

1. Attach the LOAD LINE to the cable loop in the end of the top tension cable of the barrier, using the SHACKLE at the end of the load line.
2. Back boat away from the barrier and drop the ANCHOR BUOY into the water.
3. Slowly back further away from the barrier while paying out all of the ANCHOR LINE, carefully lower the ANCHOR over the side, and lower the anchor with the POSITIONING/RETRIEVAL LINE until it settles onto the bottom.
4. Hold the POSITIONING/RETRIEVAL BUOY, slowly back away further until the barrier is in the desired position, and drop the POSITIONING/RETRIEVAL BUOY into the water.

To remove an Anchor Kit: Grab the POSITIONING/RETRIEVAL BUOY and lift the LINE until ANCHOR is dislodged from bottom. Retrieve the entire Anchor Kit and detach from the barrier.

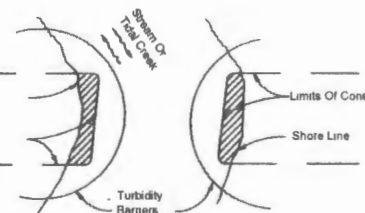
© 2007, Russco, Inc.



NOTES

1. Turbidity barriers are to be used in all permanent bodies of water regardless of water depth.
2. Number and spacing of anchors dependent on current velocities.
3. Deployment of barrier around pile locations may vary to accommodate construction operations.
4. Navigation may require segmenting barrier during construction operations.

TURBIDITY BARRIER APPLICATIONS



Note:

Turbidity barriers for flowing streams and tidal creeks may be either floating, or staked types or any combinations of types that will suit site conditions and meet erosion control and water quality requirements. The barrier type(s) will be at the Contractors option unless otherwise specified in the plans, however payment will be under the pay item(s) established in the plans for Floating Turbidity Barrier and/or Staked Turbidity Barrier. Posts in staked turbidity barriers to be installed in vertical position unless otherwise directed by the Engineer.

No.	Description	Date



DBSS ENGINEERING
SCOTT A. SANTOMAURO
FL REG. #65513
PHONE 321-251-6006



RUSSO
TURBIDITY
10844 BAY SHORE DRIVE
WINDERMERE, FL 34786
Client approval required prior to permitting and approval shall be made by Change order only.

Date Issued	03.24.2022
Drawn by	CPC
Checked by	RCabernio
Scale	

S0.2

Russ
10844 Bayshore Dr.

Little Lake Downs

(↑) South
(↓) North

7/28/22
revised 9/15/22

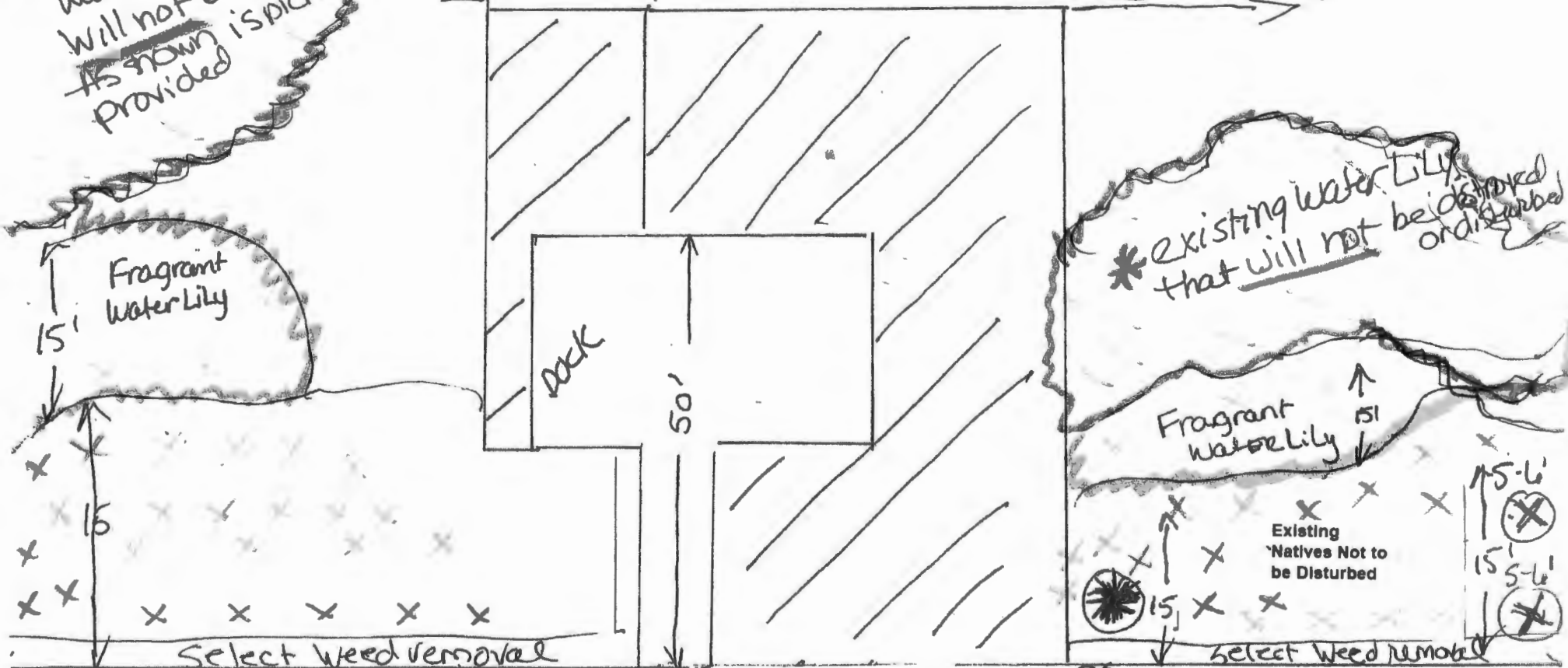
East

West

* existing water lily that will not be disturbed as shown is pictured provided

196.23 feet of shoreline
* corridor allowance is 20% or 30 feet whichever is greater = 39.25 feet available, $196.23 \times 20\% = 39.25$ feet available

39.25 Feet allowance corridor



- * Spaced 1-2 feet apart
- * pickerel weed - 1 gal (500+) x
- * Canna 1 gal (100+) ■
- * Southern Blue Flag - 1 gal (100+) ■
- * Water lily - 1 gal (100+) ■

196.23 Feet of Shoreline

* Approximately 800-1000 plants
Boat Allowance to meet 80% coverage
+ Jet ski Allowance

(*) Existing cypress tree will not be disturbed
(X) = cypress tree (added) (2 at 5-6 Feet)
Approx. 8-10 feet apart

From: [Carrie Russo](#)
To: [Denton, Hayden J](#)
Subject: RE: Russo Permit Application-Orange County - SADF-22-05-017
Date: Wednesday, September 21, 2022 9:21:21 AM

Good morning, Hayden attached is the plant revisions. Added to the plans are the comments needed for the do not disturb the native plants on the west side and the 8-10 feet apart on the cypress trees.

We greatly appreciate your assistance.

Thank you,
Carrie Russo
Broadband Consulting Group
(BBCG) 407-342-6416
carrie@bbcg.net

From: Hayden.Denton@ocfl.net <Hayden.Denton@ocfl.net>
Sent: Friday, September 16, 2022 4:07 PM
To: Carrie Russo <Carrie@bbcg.net>; jenna.wy@covepoints.com
Cc: John Russo <john@bbcg.net>; sean.wy@covepoints.com; robert.g@covepoints.com
Subject: RE: Russo Permit Application-Orange County - SADF-22-05-017

Good afternoon Mrs. Russo,

Thanks for the revised planting plan. It looks good except that the note about not disturbing the existing natives on the west side wasn't added that I could see. Also, as I mentioned, the cypress trees should not be planted on 1 foot centers, that's too close. They should be about 8-10 feet apart. See attached for those two notes on the site plan.

To answer your question about the placement of the cypress trees, if you have to move their location a little due to lake levels that is fine, as long as you aren't removing a bunch of existing native plants to plant the new cypress tree.

Jenna, I've also reviewed the revised engineering drawings and I think they are almost sufficient. There are just a couple minor things that need to be added. Please see attached with my comments and below.

- Can you please add a note to Sheet A0.3 about the size and material of the riprap that will be installed? It needs to be natural stone or clean concrete rubble between one to three feet in diameter.
- It looks like the distance of the dock edge to the seawall was not updated with the new site plan (Sheet A0.2), so the 38.7' and 32.0' lines don't make sense. Can you update or remove those?

Thanks everyone.

Hayden Denton
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From: Carrie Russo <Carrie@bbcg.net>
Sent: Thursday, September 15, 2022 5:26 PM
To: Denton, Hayden J <Hayden.Denton@ocfl.net>; Jenna Wydrankowski <jenna.wy@covepoints.com>
Cc: John Russo <john@bbcg.net>
Subject: RE: Russo Permit Application-Orange County - SADF-22-05-017

Hello Hayden, I added the details as requested on the plant revision from the original on 7/28/22. Plant spacing 1-2 feet centers, 1 gallon size, approximately 800-1000 plants to meet the 80% areal coverage. The cypress trees that will be added to far-right corner will be as drawn but I have been advised they do not do well in deep water. With the amount of rain and increased lake levels, the further one on the drawing may need to come in closer to the new wall. Will this cause any issues further ahead as this planting may not occur until February 2023? Let me know if you need anything else from me and thank you for your assistance.

Thank you,
Carrie Russo
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