



Interoffice Memorandum

May 18, 2021

TO: Mayor Jerry L. Demings
-AND-
County Commissioners

FROM: Jon V. Weiss, P.E., Director
Planning, Environmental, and Development
Services Department

CONTACT PERSON: David D. Jones, P.E., CEP, Manager
Environmental Protection Division
(407) 836-1406

SUBJECT: June 8, 2021 – Public Hearing
Orange County Investments LLC Conservation Area Impact Permit
Application No. CAI-20-07-055

This item was continued from the May 18, 2021 Board of County Commissioners meeting. The applicant, Orange County Investments LLC, is requesting a Conservation Area Impact (CAI) Permit for authorization to impact 0.30 acre of Class I wetlands with an additional 0.21 acre of secondary impacts in order to construct a stormwater retention pond. The proposed pond will be constructed within a portion of a 16.04-acre parcel that is located on the western side of Conway Road near the intersection with McCoy Road. The pond will serve a hotel that is proposed on the eastern side of Conway Road, across from the pond site and within the jurisdiction of the City of Orlando. The parcel identification number is 29-23-30-0000-00-031 and the project site is in District 3.

The applicant has obtained zoning approval on the subject parcel. On July 2, 2020, the Board of Zoning Adjustment (BZA) approved Special Exception #SE-20-08-070 to allow an offsite retention pond in conjunction with non-residential development in an R-3 zoning district. On July 28, 2020, the BZA recommendation was approved by the Board.

In the current condition, the 16.04-acre parcel contains surface waters (two existing ponds and a canal), uplands and wetlands. The two existing ponds consist of a stormwater treatment pond and a flood attenuation pond, both of which are associated with the hotel development to the south known as the Conway Center. The Conway Center development included wetland impacts and was authorized under CAI Permit No. CAI-18-02-009, which was approved by the Board on July 10, 2018. The canal traverses the site in an east and west direction and connects Lake Conway to Lake Mare Prairie. The site contains a 5.94-acre Class I wetland and a 5.11-acre Class II wetland. The majority of the onsite Class I wetland (5.42 acres) is under a Conservation Easement (CE) dedicated to the St. Johns River Water Management District (SJRWMD) as a requirement of Environmental Resource Permit No. 40-095-7540A-ERP (28052-1) issued in 1998. The CE was part of a mitigation plan approved by SJRWMD

for commercial development to the south. The portion of the wetland proposed for impact under this application to construct the pond will not result in impacts to the existing CE.

The proposed stormwater pond will be located along the eastern edge of the parcel, adjacent to Conway Road, resulting in the alteration of 0.05-acre of uplands and 0.30-acre of highly disturbed Class I wetlands. The vegetative community is mainly comprised of nuisance species with some limited native vegetation, including Brazilian pepper (*Schinus terebinthifolius*), elderberry (*Sambucus canadensis*), Carolina willow (*Salix caroliniana*) and Peruvian primrosewillow (*Ludwigia peruviana*), and is covered in a thick blanket of muscadine grape vine (*Vitis rotundifolia*). This highly disturbed edge extends from Conway Road approximately 30 to 40 feet into the wetland and encompasses all of the proposed impact area. No impacts are expected to occur to the higher quality interior portion of the wetland, currently under the CE, where the canopy opens up into a healthier forested community dominated by red maple (*Acer rubrum*), sweetbay (*Magnolia virginiana*), sweet gum (*Liquidambar styraciflua*) and laurel oak (*Quercus laurifolia*) with ground cover consisting of Virginia chain fern (*Woodwardia virginica*), cinnamon fern (*Osmunda regalis*), blackberry (*Rubus* spp.), wax myrtle (*Myrica cerifera*) and a few scattered pockets of Peruvian primrosewillow and earpod tree (*Enterolobium cyclocarpum*) with less extensive coverage of vines.

The applicant considered construction of the pond within the hotel site parcel, but was prevented from implementing this design due to City of Orlando requirements that all flood zone impacts east of Conway Road be offset with compensating storage east of Conway Road. Since the hotel site is almost exclusively within the flood zone with only a small area of uplands located at the eastern portion of the property, there is insufficient space to provide all of the required compensating storage. To address this limiting factor, the applicant has designed the hotel to be built on concrete piers and has utilized the available uplands to construct the few small features that could not be constructed on piers such as the driveways, elevators and lift station. Additionally, as construction of the pond on the hotel site would require additional compensating storage for the pond itself, it was not deemed practicable to locate the pond on the hotel property.

Prior to selecting the site west of Conway Road for the stormwater pond, the applicant researched other alternative sites located east of Conway Road. The applicant was in negotiations with the Greater Orlando Airport Authority and with another private landowner to acquire available land or obtain permission to utilize their property for compensating storage, but those efforts were ultimately unsuccessful. The applicant also pursued annexation of the subject property into the City of Orlando, but due to anticipated delays associated with the annexation approval, that effort has been discontinued. Once the site west of Conway Road was determined to be the only practicable location for the pond, the applicant pursued and obtained an agreement with the City of Orlando to construct a pipe under Conway Road from the hotel site to the proposed pond.

EPD staff has evaluated the proposed impacts and site plan in accordance with the applicable review criteria. Pursuant to Orange County Code, Chapter 15, Article X, Section 15-396(3)(a), the removal, alteration or encroachment within a Class I conservation area shall only be allowed in cases where no other feasible or practical alternatives exist that will permit a reasonable use of the land or where there is an overriding public benefit. Additionally, pursuant to Section 15-362(5), where wetlands serve a significant and productive environmental function, the public health, safety and welfare require that any alteration or development affecting such lands should be so designed and regulated so as to minimize or eliminate any impact upon the beneficial environmental productivity of such lands, consistent

with the development rights of property owners. When encroachment, alteration or removal of Class I conservation areas is permitted, habitat compensation or mitigation as a condition of development approval shall be required.

The applicant has designed the site to avoid and minimize impacts to the Class I wetlands as much as possible while working within the constraints of the available space for compensating storage. Impacts to Class I wetlands have been limited to the highly disturbed edge where the wetland would be anticipated to provide little habitat value to wildlife that may otherwise utilize the wetland and associated uplands. Impacts upon the beneficial overall environmental productivity of the Class I wetland is expected to be minimal and anticipated adverse impacts will be offset with appropriate mitigation.

To offset the 0.30-acre direct wetland impact and the 0.21-acre secondary wetland impact, the applicant has proposed to purchase 0.15 Uniform Mitigation Assessment Method mitigation bank credits from the TM-Econ Mitigation Bank, Phases 1-3. The mitigation is appropriate and sufficient to offset adverse impacts to wetlands that will occur as a result of the proposed project.

Notification of the public hearing was sent via electronic correspondence to the applicant and applicant's agent. Notification of the adjacent property owners is not required.

There has been no enforcement action taken by EPD on the subject property.

Staff Findings and Recommendation

EPD staff has made a finding that the request is consistent with Orange County Code, Chapter 15, Article X, Sections 15-362(5) and 15-396(3)(a) and recommends approval of CAI Permit No. CAI-20-07-055, subject to the conditions listed below.

Specific Conditions:

1. This permit shall become final and effective upon expiration of the 30-calendar day period following the date of rendition of the Board's decision approving the permit, unless a petition for writ of certiorari or other legal challenge has been filed within this timeframe. Any timely filed petition or other challenge shall stay the effective date of this permit until the petition or other challenge is resolved in favor of the Board's decision.
2. The operational phase of this permit is effective upon the completion of the construction and continues in perpetuity.
3. The wetland impacts and pond construction must be completed in accordance with the 'Construction Plans', prepared by Mitch Collins, P.E., and received by the Environmental Protection Division (EPD) on December 21, 2020. Construction shall be completed within five years from issuance of this permit unless extended in writing. Requests for permit extension must be submitted to EPD prior to the expiration date.
4. Prior to clearing wetlands, the permittee shall provide documentation indicating the purchase of 0.15 Uniform Mitigation Assessment Method mitigation credits from the TM-Econ Mitigation Bank, Phases 1-3 has been completed.
5. Conservation area signs shall be installed in accordance with 'Sheet C-3', and native plantings along the pond backslope shall be installed in accordance with 'Sheet L2' of the

approved construction plans. The signs and plantings shall be installed prior to the Certificate of Completion.

6. If dewatering will be required to complete the work, a final dewatering plan must be submitted and approved by EPD prior to the initiation of construction.
7. Prior to beginning construction, the permittee must demarcate the limits of construction with six-foot tall PVC poles with orange flagging tied to the tops or orange safety fencing. Initial clearing shall include a path along the limits of construction to facilitate installation of the pole markers or safety fencing to create a visual limit of clearing. After the initial clearing along the limits of construction is complete, a silt fence must be installed and maintained throughout construction. The permittee shall advise the contractor that any work outside the limits of construction, including clearing, may be a violation of this permit.
8. Prior to any filling within the 100-year flood zone, a Flood Plain Permit may be required from the Orange County Stormwater Management Division authorizing the fill.
9. The permittee shall notify EPD, in writing, within 30 days of any sale, conveyance, or other transfer of ownership or control of the real property subject to this permit. The permittee shall remain liable for all permit conditions and corrective actions that may be required as a result of any permit violations which occur prior to the transfer of the permit by Orange County to a subsequent owner. If applicable, no permit shall be transferred unless and until adequate financial assurance has been provided and approved by Orange County.
10. For projects which disturb one acre or more of land, or which are less than one acre but are part of a larger common plan of development of sale that is greater than one acre, coverage under a National Pollutant Discharge Elimination System (NPDES) Construction Generic Permit (CGP) is required. Prior to the start of land disturbing activities, which includes demolition, earthwork and/or construction, the operator shall prepare a Stormwater Pollution Prevention Plan (SWPPP) and submit to the Florida Department of Environmental Protection (FDEP) a Notice of Intent (NOI) to obtain coverage under the NPDES CGP, pursuant to the requirements of 62-621.300(4)(a) Florida Administrative Code (F.A.C.). As the Operator of the Municipal Separate Storm Sewer System (MS4), a copy of the NOI shall also be submitted to the Orange County NPDES Environmental Program Supervisor prior to the start of activities. Copies of the SWPPP, NOI, and FDEP Acknowledgement Letter are to be kept on the project site and made available upon request. Upon completion of all land disturbing activities and after final stabilization of the site is complete, the developer/contractor shall submit to FDEP a Notice of Termination (NOT) to end their coverage under the CGP and provide a copy of the NOT to the Operator(s) of the MS4. A copy of the CGP, NOI and additional information can be found at the following website: <http://dep.state.fl.us/water/stormwater/npdes/construction3.html>.
11. Turbidity and sediment shall be controlled to prevent off-site, unpermitted impacts and violations of water quality standards pursuant to Rules 62-302.500, 62-302.530, and 62-4.242 F.A.C. Best Management Practices (BMPs), as specified in the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (2013, or most current version), shall be installed and maintained at all locations where there is the possibility of transferring sediment, turbidity, or other pollutants into wetlands and/or surface waters due to the permitted activities. BMPs are performance based; if selected BMPs are ineffective or if site-specific conditions require additional measures, then the permittee shall implement additional or alternative measures as necessary to prevent adverse impacts to wetlands and/or surface waters. Turbidity discharging from a site must not exceed 29 Nephelometric Turbidity Units (NTU) over background for Class III waters and

their tributaries or 0 NTU over background for those surface waters and tributaries designated as Outstanding Florida Waters (OFW). A copy of the Designer and Reviewer Manual can be found at the following website: <https://www.flrules.org/Gateway/referee.asp?No=Ref-04227>.

12. Discharge of groundwater from dewatering operations requires approval from FDEP and the applicable Water Management District. The operator/contractor shall obtain an FDEP Generic Permit for the Discharge of Ground Water from Dewatering Operations pursuant to the requirements of Chapters 62-621.300(2)(a) and 62-620, F.A.C., and Chapter 403, Florida Statutes (F.S.). Discharges directed to the County's MS4 require an Orange County Right-of-Way Utilization Permit for Dewatering prior to the start of any discharges.

General Conditions:

13. Subject to the terms and conditions herein, the permittee is hereby authorized to perform or cause to be performed, the impacts shown on the application and approved drawings, plans, and other documents attached hereto or on file with EPD. The permittee binds itself and its successors to comply with the provisions and conditions of this permit. If EPD determines at any time that activities, including without limitation the performance of the required mitigation, are not in accordance with the conditions of the permit, work shall cease and the permit may be revoked immediately by the Environmental Protection Officer. Notice of the revocation shall be provided to the permit holder promptly thereafter.
14. Construction plans shall be submitted to EPD prior to initiating any construction activities for review and approval. The construction plans shall include, but are not limited to, a site plan clearly depicting the location and acreage of the impact and preservation areas.
15. The permittee shall require the contractor to maintain a copy of this permit, complete with all approved drawings, plans, conditions, attachments, exhibits, and modifications in good condition at the construction site. The permittee shall require the contractor to review the permit prior to commencement of the activity authorized by this permit. The complete permit shall be available upon request by Orange County staff.
16. Issuance of this permit does not warrant in any way that the permittee has riparian or property rights to construct any structure permitted herein and any such construction is done at the sole risk of the permittee. In the event that any part of the structure(s) permitted herein is determined by a final adjudication issued by a court of competent jurisdiction to encroach on or interfere with adjacent property owner's riparian or other property rights, the permittee agrees to either obtain written consent or to remove the offending structure or encroachment within 60 days from the date of the adjudication. Failure to comply shall constitute a material breach of this permit and shall be grounds for its immediate revocation.
17. This permit does not release the permittee from complying with all other federal, state, and local laws, ordinances, rules and regulations. Specifically, this permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities upon property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and Chapter 15, Article X of the Orange County Code. If these permit conditions conflict with those of any other regulatory agency, the permittee shall comply

with the most stringent conditions. The permittee shall immediately notify EPD of any conflict between the conditions of this permit and any other permit or approval.

18. Should any other regulatory agency require changes to the property, permitted activities, or approved mitigation, the permittee shall provide written notification to EPD of the change prior to implementation so that a determination can be made whether a permit modification is required.
19. EPD shall have final construction plan approval to ensure that no modification has been made during the construction plan process.
20. The permittee shall immediately notify EPD in writing of any previously submitted information that is later discovered to be inaccurate.
21. EPD staff, with proper identification, shall have permission to enter the site at any reasonable time to ensure conformity with the plans and specifications approved by the permit.
22. The permittee shall hold and save the County harmless from any and all damages, claims or liabilities, which may arise by reason of the activities authorized by the permit.
23. All costs, including attorney's fees, incurred by the County in enforcing the terms and conditions of this permit shall be required to be paid by the permittee.
24. The permittee agrees that any dispute arising from matters relating to this permit shall be governed by the laws of Florida, and initiated only in Orange County.
25. Pursuant to Section 125.022, F.S., issuance of this permit by the County does not in any way create any rights on the part of the permittee to obtain a permit from a state or federal agency and does not create any liability on the part of the County for issuance of the permit if the permittee fails to obtain the requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
26. Pursuant to Section 125.022, F.S., the applicant shall obtain all other applicable state or federal permits before commencement of development.

ACTION REQUESTED: Acceptance of the findings and recommendation of the Environmental Protection Division staff and approval of Conservation Area Impact Permit CAI-20-07-055 for Orange County Investments LLC, subject to the conditions listed in the staff report. District 3

JW/DDJ: erj

Attachments

Conservation Area Impact Permit Request

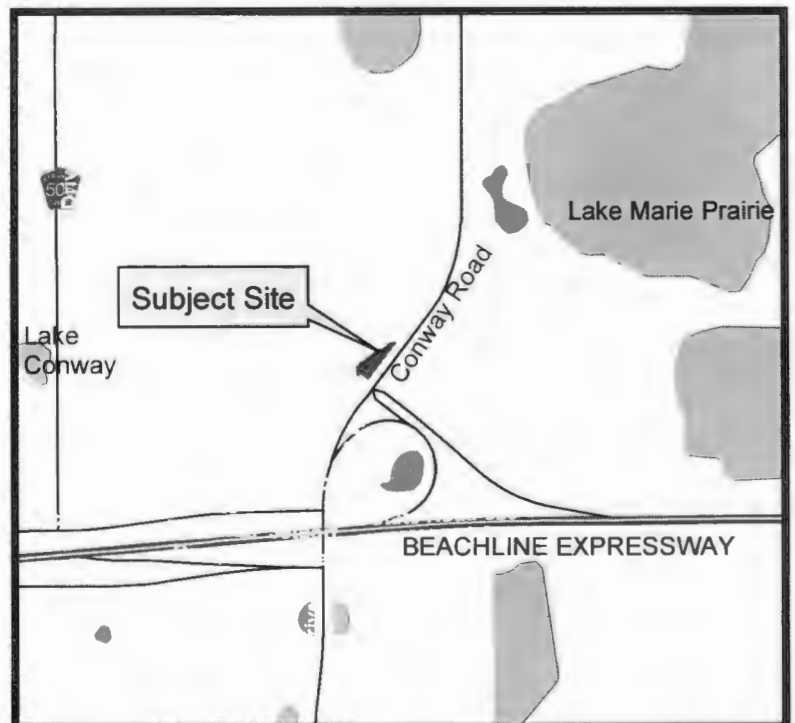


**Conservation Area Impact
Permit Request
CAI-20-07-055
District #3**

Applicants: Orange County Investments LLC
Address: Conway Road
Parcel ID: Portion of Parcel 29-23-30-0000-00-031

Project Site 

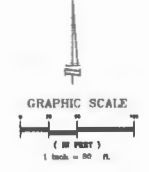
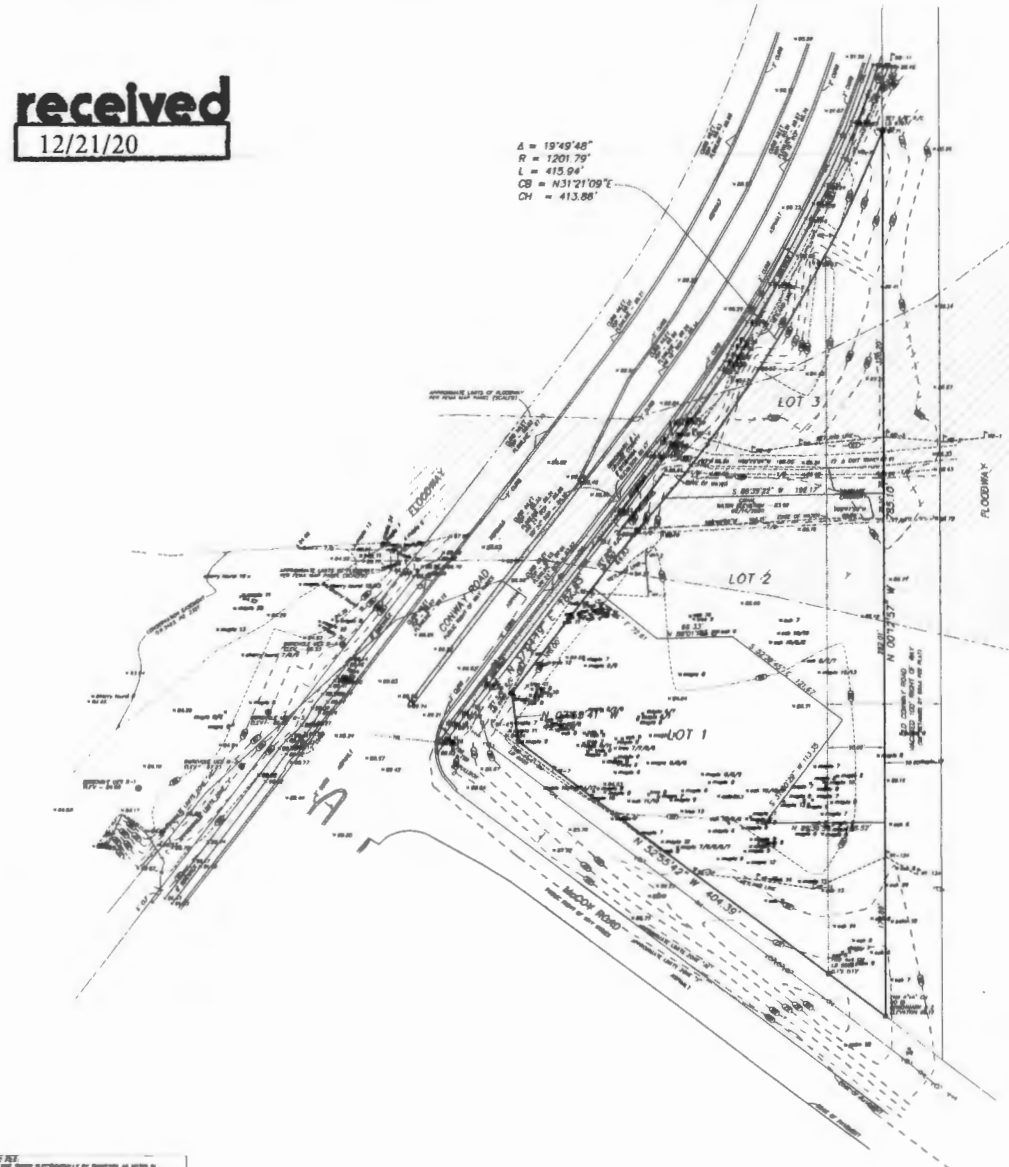
Property Location 



received

12/21/20

$\Delta = 19^{\circ}49'48''$
 $R = 1201.79'$
 $L = 413.94'$
 $CB = N31^{\circ}21'09''E$
 $CH = 413.88'$



- LEGEND
- UNDEVELOPED LAND
 - ROAD
 - FLOODWAY
 - RIGHT-OF-WAY
 - EASEMENT
 - ENCUMBRANCE
 - SURVEY MARKS
 - PROPERTY BOUNDARY
 - ADJACENT PROPERTY
 - ELEVATION POINT
 - ELEVATION MARK
 - REFERENCE POINT
 - SURVEY POINT
 - LIGHT POLE

LEGAL DESCRIPTION PROVIDED BY CLIENT:
LOTS 1, 2 AND 3, MADDOX ROAD SUBDIVISION, AS RECORDED IN PLAT BOOK 56, PAGE 87 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

- SURVEYOR'S REPORT/NOTES:
- 1) SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPING.
 - 2) DISTANCES SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
 - 3) UNLESS NOTED OTHERWISE, NO UNDEVELOPED ENCUMBRANCES, EASEMENTS, RIGHTS OF ROOF OVERHANGS HAVE BEEN LOCATED. ENVIRONMENTAL CONDITIONS AND GOVERNMENTAL RESTRICTIONS NOT DETERMINED BY SURVEYOR.
 - 4) SYMBOLS NOT TO SCALE.
 - 5) THIS MAP IS INTENDED TO BE OPERATED AT A SCALE OF 1" = 50'.
 - 6) BUILDING LINES ARE NOT TO BE USED TO CONSTRUCT DEED OR PLATED LINES.
 - 7) THE LINES SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, LOCAL OWNERSHIP OR MATTERS OF RECORD BY THIS FIRM.
 - 8) BEARINGS SHOWN HEREON ARE BASED ON THE NORTH-SOUTH OF-WAY LINE OF MADDOX ROAD BEARING S 25°55'42" W PER THE RECORD PLAN.
 - 9) PROPERTY BOUNDARY HEREON USES IN FLOODED ZONES "X" & "H" ACCORDING TO FIRM'S MAP PANEL 04, SUBSECTION 5, CLARITY REFERENCE PL. 2008. THE FLOOD ZONE DEFORMATION MAP IS NOT A SURVEY. FLOOD ZONE DEFORMATION IS AN OPTION ONLY.
 - 10) ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE BENCHMARK @ BIRMINGHAM HAVING AN ELEVATION OF 88.47 (BENCH MARK).
 - 11) NEILAND FLOOD MAP PER AUTUMN ENVIRONMENTAL CONSULTANTS, INC. AND FIELD LOCATED BY THIS FIRM.
 - 12) TREES WERE NOT LOCATED NORTH OF FLOODWAY.
 - 13) FOR PURPOSES OF THIS SURVEY, TREES 6" AND LARGER WERE LOCATED PER CLIENT'S REQUEST.

ADDITIONAL NOTES:
THIS SURVEY MAP IS PROVIDED BY SURVEYOR AS SHOWN AS NOTED IN PLAT AND THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPING. THE SURVEYOR'S REPORT AND THE SURVEY MAP ARE SEPARATE DOCUMENTS AND EACH IS THE SOLE PROPERTY OF THE SURVEYOR AND MAPPING FIRM.
REVISIONS TO THIS SURVEY MAP SHOULD BE MADE IN THE SURVEYOR'S REPORT OR BY ADDING A SECOND SURVEYOR'S REPORT TO THIS SURVEY MAP. NO OTHER REVISIONS TO THIS SURVEY MAP WILL BE MADE WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR AND MAPPING FIRM.
NOTICE OF CORRECTION:
THIS SURVEY MAP IS PROVIDED BY SURVEYOR AS SHOWN AS NOTED IN PLAT AND THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPING. THE SURVEYOR'S REPORT AND THE SURVEY MAP ARE SEPARATE DOCUMENTS AND EACH IS THE SOLE PROPERTY OF THE SURVEYOR AND MAPPING FIRM.

BOUNDARY & TOPOGRAPHIC SURVEY
1478 S.E. 25th Avenue
ORANGE COUNTY, FLORIDA 32767
OFFICE: 407.777.0888
CELL: 407.777.0888
FAX: 407.777.0888

DR. REDDY
PHYSICIAN
Associated Land Surveying & Mapping, Inc.
1478 S.E. 25th Avenue Orange, Florida 32767 Phone: 407.777.0888 Fax: 407.777.0888 Email: info@almsurveying.com
SHEET NO 7 OF 1



GRAPHIC SCALE
1" = 20' FT
1" = 10' FT

TYPE OF CONSTRUCTION
1. ALL PORTIONS OF WORK SHOWN ON THIS PLAN SHALL BE CONSIDERED TO BE THE PROPERTY OF THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR ALL PERMITS AND REGULATIONS REQUIRED BY ANY LOCAL, STATE OR FEDERAL AGENCIES. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS.
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS.
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CANAL

CANAL

PORTION OF PROJECT IN CITY OF ORLANDO JURISDICTION (EXCEPT FOR PROPOSED SANITARY SEWER WORK)

PORTION OF PROJECT IN ORANGE COUNTY JURISDICTION

PROPOSED POND

CONWAY ROAD (R/W WIDTH VARIES)

MCCOY ROAD (R/W WIDTH VARIES)

PROPOSED HOTEL (FOUR FLOORS, 110 ROOMS) ELEVATION 91.00

received 12/21/20

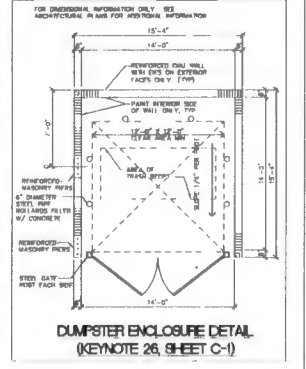
TABLE: SIZES LISTED. Columns: SIZE, UNIT, DIMENSION, and notes.

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ALL DETECTABLE WARNING MATS SHALL BE ARMOR TILE (OR APPROVED ALTERNATE) CAST IN PLACE ONLY. SURFACE-MOUNTED DETECTABLE WARNING MATS WILL NOT BE ACCEPTED.
INSTALL EXPANSION AND CONTROL JOINTS FOR ALL PROPOSED SIDEWALKS PER SIDEWALK DETAIL ON PLAN SHEET C-6

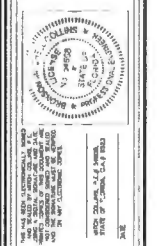
TYPICAL PARKING SPACE SHALL BE FINISHED WITH 6" MATT STREPPING.
ALL PARKING SPACES OTHER THAN HANDICAP SPACES AND CONTACT SPACES SHALL BE 6" WIDE.
ALL RAISE SHALL BE 5" UNLESS OTHERWISE NOTED

- KEY NOTES (a)
1. REMOVE EXISTING CURB AND OUTER AND METAL SET WALLS OUTSIDE EXIST. DETAIL, SHEET C-4) SEE PLAN SHEET A-1)
2. CONNECT TO EXISTING CURB AND OUTER (CONNECT AT NEAREST EXISTING JOINT)
3. FINISH WITH 6" CONCRET...
4. CONNECT TO EXISTING SIDEWALK (CONNECT AT NEAREST EXISTING JOINT)
5. PROPOSED CURB CUT RAMP PER FOOT STANDARD PLANS INDEX 997-003, CUT-1 (SEE DETAIL, SHEET C-4) SHOWING HOW CURB IS TO BE PLACED TO DETECTABLE WARNING MAT)
6. PROPOSED FOOT CURB, 12" CURB AND FINISH (7/8" DIA. DETAIL, SHEET C-4)
7. RELOCATE EXISTING DETAIL PER PLAN SHEET C-1)
8. PROPOSED "SPECIAL FINISH" CURB-TYPE PER FOOT STANDARD PLANS INDEX 997-003 (12" WIDE SIDEWALK) SHALL BE AT 4" ON CENTER WITH 24" WIDE FINISH PER PLAN SHEET C-4)
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31. FINISH WITH 6" CONCRET...
32. PROPOSED "SPECIAL FINISH" CURB-TYPE PER FOOT STANDARD PLANS INDEX 997-003 (12" WIDE SIDEWALK) SHALL BE AT 4" ON CENTER WITH 24" WIDE FINISH PER PLAN SHEET C-4)
33. PROPOSED CURB CUT RAMP PER FOOT STANDARD PLANS INDEX 997-003, CUT-1 (SEE DETAIL, SHEET C-4) SHOWING HOW CURB IS TO BE PLACED TO DETECTABLE WARNING MAT)
34. PROPOSED FOOT CURB, 12" CURB AND FINISH (7/8" DIA. DETAIL, SHEET C-4)
35. FINISH WITH 6" CONCRET...
36. PROPOSED "SPECIAL FINISH" CURB-TYPE PER FOOT STANDARD PLANS INDEX 997-003 (12" WIDE SIDEWALK) SHALL BE AT 4" ON CENTER WITH 24" WIDE FINISH PER PLAN SHEET C-4)
37. PROPOSED CURB CUT RAMP PER FOOT STANDARD PLANS INDEX 997-003, CUT-1 (SEE DETAIL, SHEET C-4) SHOWING HOW CURB IS TO BE PLACED TO DETECTABLE WARNING MAT)



REVISION TABLE with columns: REVISION, DATE, BY, and description of changes.

SITE LAYOUT PLAN FOR BEST WESTERN PREMIER AT OIA 425 MCCOY ROAD ORLANDO, FLORIDA

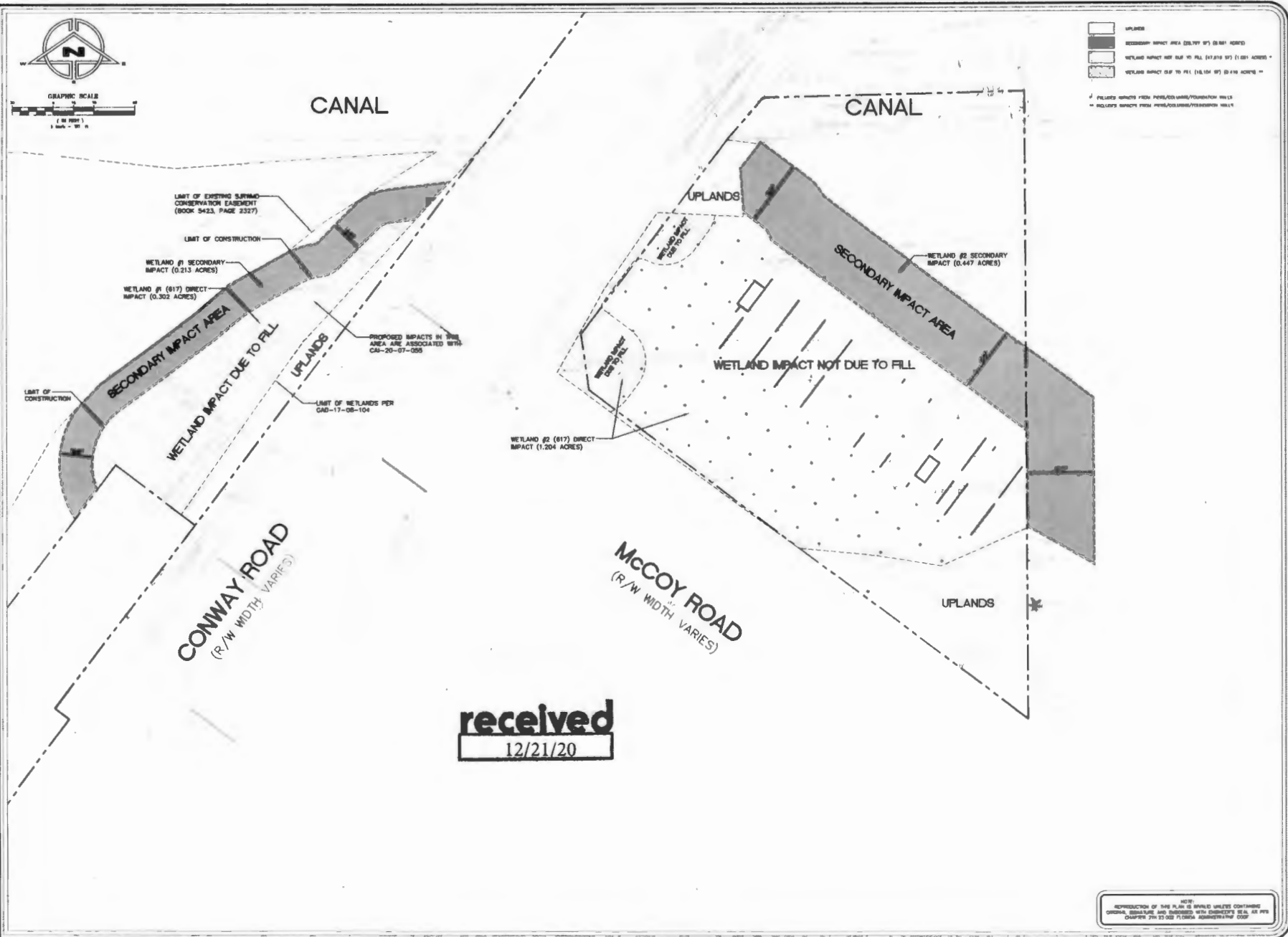


PROJECT INFORMATION TABLE with columns: DRAWN BY, CHECKED BY, DATE, ROAD, JOB NO., SHEET NO., and other project details.



UPLANDS
SECONDARY IMPACT AREA (EXCEPT #1) (0.841 ACRES)
WETLAND IMPACT NOT DUE TO FILL (17,819 SQ FT) (0.405 ACRES)
WETLAND IMPACT DUE TO FILL (18,154 SQ FT) (0.416 ACRES)

1 FILLER IMPACT FROM PERMITS/AGREEMENTS/TOURISM/RECREATION ONLY
 2 FILLER IMPACT FROM PERMITS/AGREEMENTS/TOURISM/RECREATION ONLY



received
 12/21/20

REV/DATE	BY
0-00/00	M.C.
0-00/00	M.C.
0-00/00	M.C.

WETLAND IMPACT EXHIBIT
 FOR
BEST WESTERN PREMIER AT OIA
 4855 McCOY ROAD
 ORLANDO, FLORIDA



THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE ENGINEER'S SEAL IS NOT TO BE USED FOR ANY OTHER PROJECT. THE ENGINEER'S SEAL IS NOT TO BE USED FOR ANY OTHER PROJECT.



OWNER	MC
DESIGNED BY	MC
DATE	4-17-20
SCALE	1" = 50'
JOB NO.	210-008
DRAWN BY	C-1A

NOT: REPRODUCTION OF THIS PLAN IS FORWARDED UNLESS CONTAINING ORIGINAL SEALING AND SIGNED WITH ENGINEER'S SEAL OR PER CHAPTER 714.25 OF THE FLORIDA ADMINISTRATIVE CODE.



- ELEVATION 85.50 AND BELOW
- R/W ELEVATION 85.50 AND 86.00
- R/W ELEVATION 86.00 AND 87.00
- R/W ELEVATION 87.00 AND 88.00
- ABOVE ELEVATION 88.00



- ELEVATION 85.50 AND BELOW
- R/W ELEVATION 85.50 AND 86.00
- R/W ELEVATION 86.00 AND 87.00
- R/W ELEVATION 87.00 AND 88.00
- ABOVE ELEVATION 88.00

CUMULATIVE VOLUME=180,643 CF	88.0	BOUNDARY OF ANALYSIS AREA
CUMULATIVE VOLUME=137,420 CF	87.5	
CUMULATIVE VOLUME=97,485 CF	87.0	
CUMULATIVE VOLUME=61,130 CF	86.5	
CUMULATIVE VOLUME=28,408 CF	86.0	
CUMULATIVE VOLUME=0 CF	85.5	

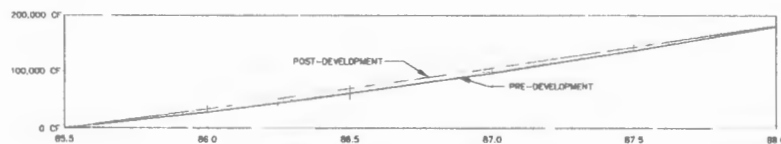
TOTAL VOLUME BETWEEN 85.50 AND 88.00=180,643 CF

PRE-DEVELOPMENT

CUMULATIVE VOLUME=181,997 CF	88.0	BOUNDARY OF ANALYSIS AREA
CUMULATIVE VOLUME=143,586 CF	87.5	
CUMULATIVE VOLUME=108,134 CF	87.0	
CUMULATIVE VOLUME=69,852 CF	86.5	
CUMULATIVE VOLUME=34,250 CF	86.0	
CUMULATIVE VOLUME=0 CF	85.5	

TOTAL VOLUME BETWEEN 85.50 AND 88.00=181,997 CF

POST-DEVELOPMENT



VOLUME COMPARISON CHART

received
12/21/20

NOTE:
REPRODUCTION OF THIS PLAN IS VALID ONLY IF CONTAINED ORIGINAL, UNALTERED AND ENDORSED WITH ENGINEER'S SEAL AS PER CHAPTER 174.202, FLORIDA ADMINISTRATIVE CODE

REV/DATE	BY
1-20-19	M.C.
2-20-19	M.C.
3-20-19	M.C.
4-20-19	M.C.
5-20-19	M.C.
6-20-19	M.C.
7-20-19	M.C.
8-20-19	M.C.
9-20-19	M.C.
10-20-19	M.C.
11-20-19	M.C.
12-20-19	M.C.

FLOODZONE IMPACT PLAN
FOR
BEST WESTERN PREMIER AT OIA

ORLANDO, FLORIDA

888 MCCOY ROAD



DATE OF SEAL: 12/21/20
SCALE: 1" = 20'



DESIGNED BY	M.C.
CHECKED BY	M.C.
DATE	4-17-20
SCALE	F = 30'
JOB NO.	280-035
PROJECT NO.	C-2A
	OF 2



CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.

- CITY OF ORLANDO NOTES:**
1. ALL NOTES ON THESE DRAWINGS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ORLANDO AND THE FLORIDA STATUTES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
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 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.
 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NPDES PERMIT COVERAGE FOR PROJECT.

PROPOSED ORANGE CONSTRUCTION FENCE WITH 6" PVC POLES AND ORANGE FLAGS TIED ON TOP

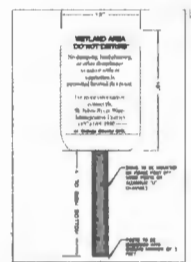
PROPOSED WETLAND AREA SIGNAGE SPACED AT 50' ON CENTER (TYP) (SEE DETAIL)

PROPOSED DOUBLE SILT FENCE BARRIER (TYP) (SEE DETAIL)

PROPOSED SILT FENCE BARRIER (TYP) (SEE DETAIL)

PROPOSED DOUBLE SILT FENCE BARRIER (TYP) (SEE DETAIL)

PROPOSED HOTEL
(FOUR FLOORS, 110 ROOMS)
F.F. ELEVATION 91.00



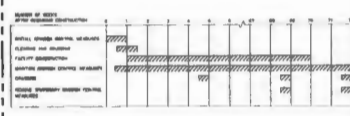
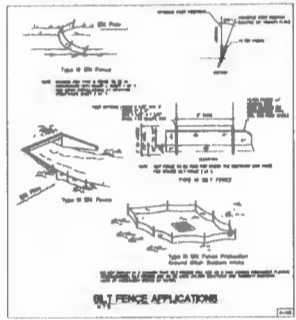
CONSERVATION SIGN (TYPICAL) TO BE PLACED EVERY 50 FEET

CONWAY ROAD
(R/W WIDTH VARIES)

McCOY ROAD
(R/W WIDTH VARIES)

DURING CONSTRUCTION, USE THIS ENTRANCE FOR ENTERING/EXITING THE SITE. 36" x 2" CRUSHED GRAVEL TO BE PLACED AT ENTRANCE DURING CONSTRUCTION (USE 20'x40' RECTANGLE).

received
12/21/20



CONSTRUCTION SPECIFICATIONS:

1. Silt fence shall be constructed of 6" PVC pipe with orange flags tied on top.
2. Silt fence shall be installed in a trench 12" deep and 12" wide.
3. Silt fence shall be installed in a trench 12" deep and 12" wide.
4. Silt fence shall be installed in a trench 12" deep and 12" wide.
5. Silt fence shall be installed in a trench 12" deep and 12" wide.
6. Silt fence shall be installed in a trench 12" deep and 12" wide.
7. Silt fence shall be installed in a trench 12" deep and 12" wide.
8. Silt fence shall be installed in a trench 12" deep and 12" wide.
9. Silt fence shall be installed in a trench 12" deep and 12" wide.
10. Silt fence shall be installed in a trench 12" deep and 12" wide.
11. Silt fence shall be installed in a trench 12" deep and 12" wide.
12. Silt fence shall be installed in a trench 12" deep and 12" wide.
13. Silt fence shall be installed in a trench 12" deep and 12" wide.
14. Silt fence shall be installed in a trench 12" deep and 12" wide.
15. Silt fence shall be installed in a trench 12" deep and 12" wide.
16. Silt fence shall be installed in a trench 12" deep and 12" wide.
17. Silt fence shall be installed in a trench 12" deep and 12" wide.
18. Silt fence shall be installed in a trench 12" deep and 12" wide.
19. Silt fence shall be installed in a trench 12" deep and 12" wide.
20. Silt fence shall be installed in a trench 12" deep and 12" wide.

CITY OF ORLANDO
EROSION & SEDIMENTATION CONTROL FOR CONSTRUCTION SITES

CONSTRUCTION SITES

CONSERVATION SIGN (TYPICAL) TO BE PLACED EVERY 50 FEET

COMMONLY USED EROSION CONTROL MEASURES

SILT FENCES: Temporary barriers that trap sediment and prevent it from leaving the construction site.

SEDIMENT TRAP: A structure that captures sediment before it enters a water body.

SEDIMENTATION BASIN: A large structure that captures sediment and allows it to settle before the water is discharged.

VEGETATION: Planting trees and shrubs to stabilize soil and prevent erosion.

STRAW BALE BARRIERS: Temporary barriers made of straw bales that trap sediment.

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs): A set of practices designed to prevent or reduce the amount of sediment that enters a water body.

CONTRACTOR NOTIFICATION:

NAME	TITLE	COMPANY NAME ADDRESS PHONE NO.	DATE	SIGNATURE

NOTE: REPRODUCTION OF THIS PLAN IS STRICTLY UNLAWFUL UNLESS CONTAINING ORIGINAL SIGNATURE AND ENDORSED WITH DOWNEY'S SEAL AND ONE CHAPTER 214 31.009 FLORIDA ASSEMBLY/STAFF COPY

REV/DATE	BY
1-08-20	M.C.
2-08-20	M.C.

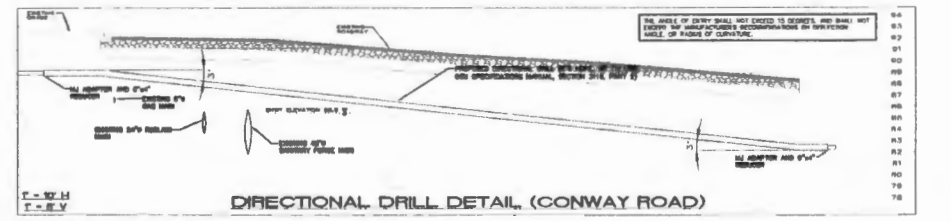
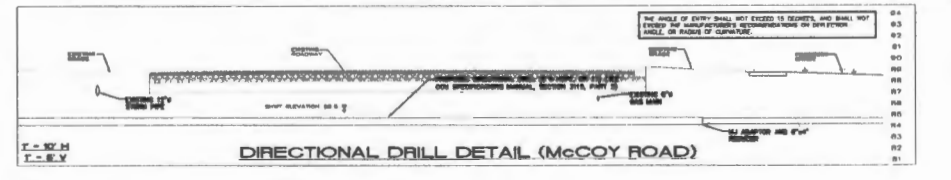
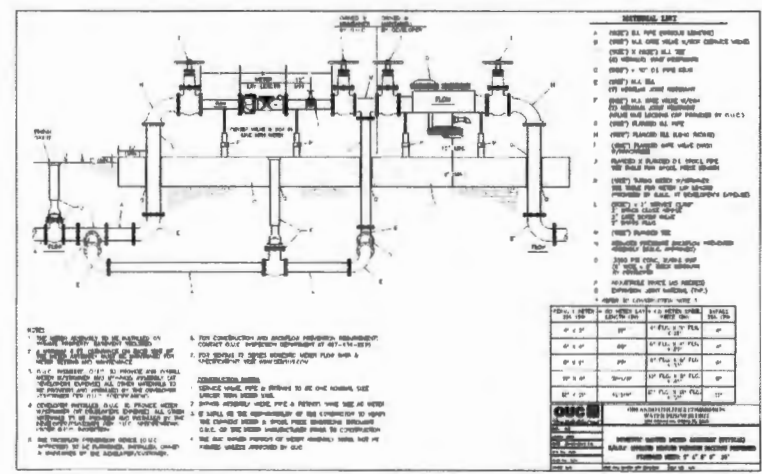
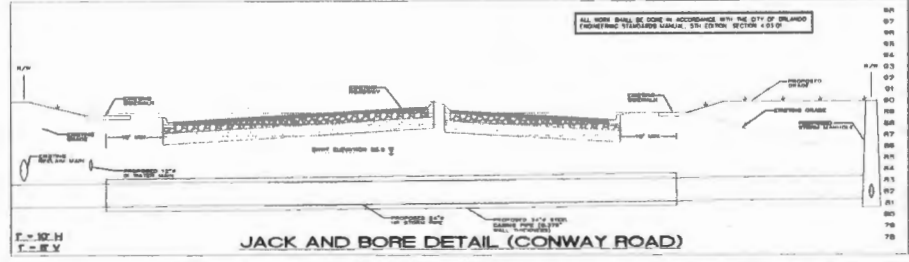
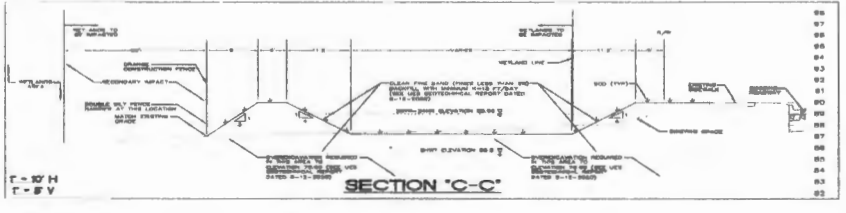
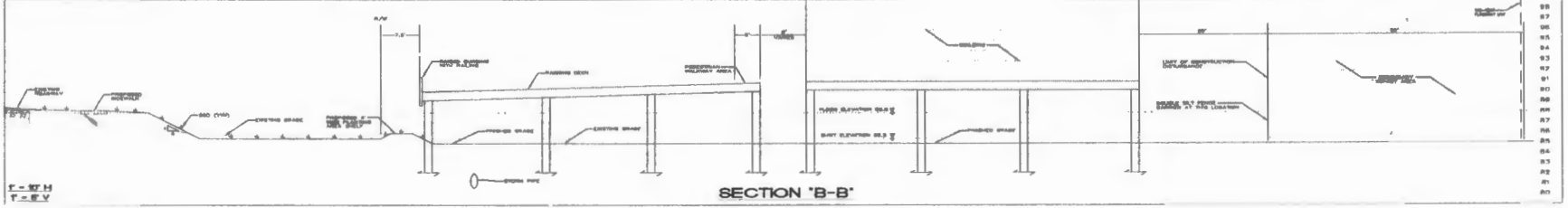
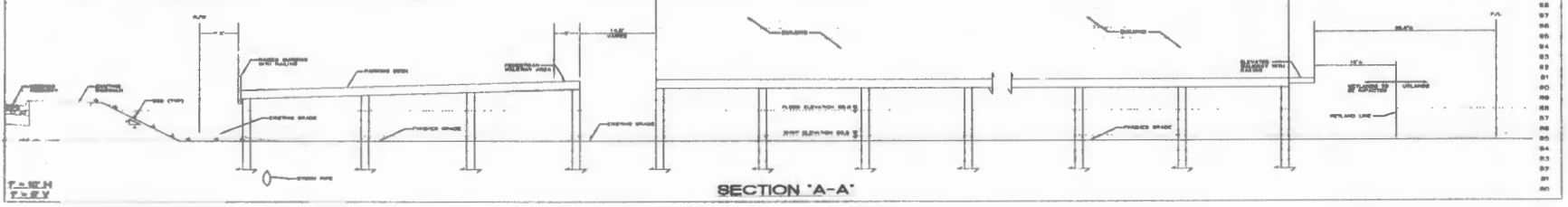
EROSION CONTROL PLAN
FOR
BEST WESTERN PREMIER AT OIA
485 MCCOY ROAD
ORLANDO, FLORIDA



DATE OF PLAN: 12/21/20
SCALE: AS SHOWN
PROJECT: BEST WESTERN PREMIER AT OIA
SHEET NO. 28-035
OF 3



ISSUED BY	MC
PREPARED BY	MC
DATE	4-17-20
SCALE	1" = 30'
SHEET NO.	28-035
OF	3



received
12/21/20

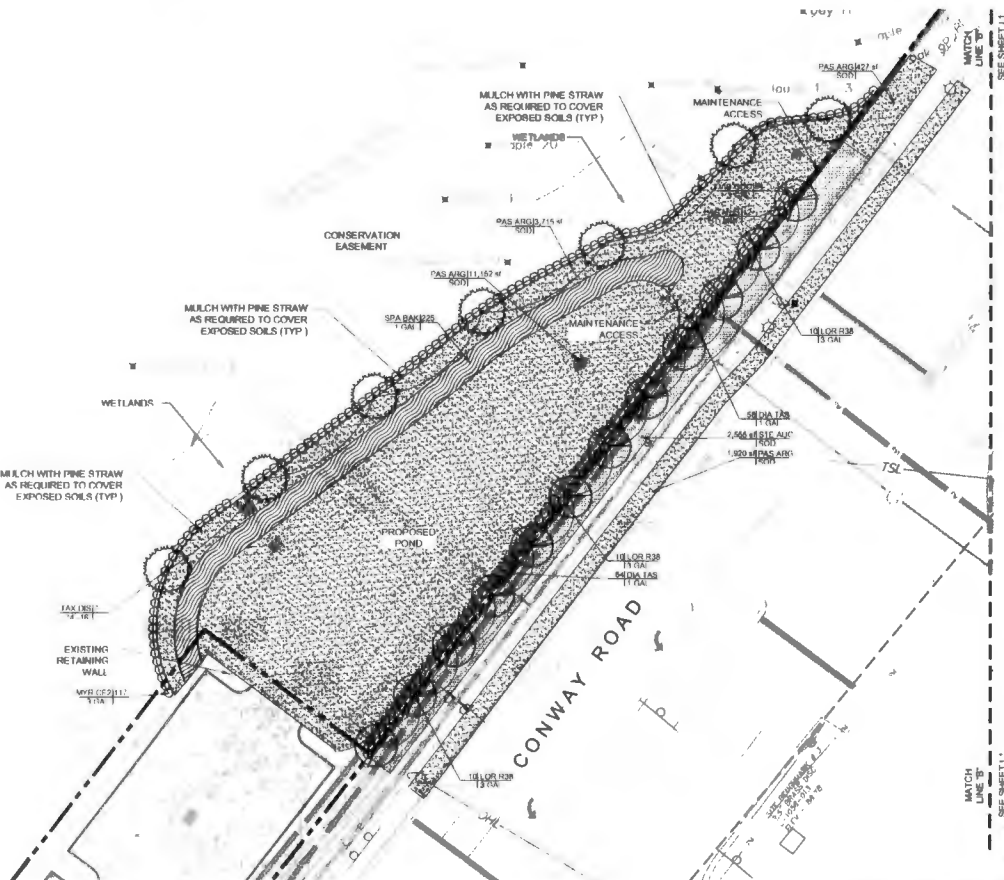
NOTE: REPRODUCTION OF THIS PLAN IS FORWARDED UNLESS CONTAINING ORIGINAL SIGNATURE AND ENGINEER'S SEAL AS PER CHAPTER 301.03, F.S. OR AS OTHERWISE SPECIFIED.

REV/DATE	BY
2-12-08	M.D.
5-28-08	M.D.
6-18-08	M.D.
7-15-08	M.D.
8-12-08	M.D.
9-10-08	M.D.
10-08-08	M.D.
11-05-08	M.D.
12-02-08	M.D.
1-09-09	M.D.
2-05-09	M.D.
3-02-09	M.D.
4-09-09	M.D.
5-06-09	M.D.
6-03-09	M.D.
7-01-09	M.D.
8-08-09	M.D.
9-05-09	M.D.
10-02-09	M.D.
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12-07-09	M.D.
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1-04-11	M.D.
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12-07-11	M.D.
1-04-12	M.D.
2-02-12	M.D.
3-01-12	M.D.
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12-07-12	M.D.
1-04-13	M.D.
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9-05-13	M.D.
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9-05-14	M.D.
10-02-14	M.D.
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5-06-15	M.D.
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8-08-15	M.D.
9-05-15	M.D.
10-02-15	M.D.
11-00-15	M.D.
12-07-15	M.D.
1-04-16	M.D.
2-02-16	M.D.
3-01-16	M.D.
4-08-16	M.D.
5-06-16	M.D.
6-03-16	M.D.
7-01-16	M.D.
8-08-16	M.D.
9-05-16	M.D.
10-02-16	M.D.
11-00-16	M.D.
12-07-16	M.D.
1-04-17	M.D.
2-02-17	M.D.
3-01-17	M.D.
4-08-17	M.D.
5-06-17	M.D.
6-03-17	M.D.
7-01-17	M.D.
8-08-17	M.D.
9-05-17	M.D.
10-02-17	M.D.
11-00-17	M.D.
12-07-17	M.D.
1-04-18	M.D.
2-02-18	M.D.
3-01-18	M.D.
4-08-18	M.D.
5-06-18	M.D.
6-03-18	M.D.
7-01-18	M.D.
8-08-18	M.D.
9-05-18	M.D.
10-02-18	M.D.
11-00-18	M.D.
12-07-18	M.D.
1-04-19	M.D.
2-02-19	M.D.
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9-05-19	M.D.
10-02-19	M.D.
11-00-19	M.D.
12-07-19	M.D.
1-04-20	M.D.

DETAILS AND NOTES
 FOR
BEST WESTERN PREMIER AT OIA
 ORLANDO, FLORIDA
 488 MCCOY ROAD



DESIGN BY	MC
CHECKED BY	MC
DATE	4-17-00
SCALE	N.T.S.
JOB NO.	29-035
SHEET NO.	C-7
	OF 6



PROPOSED POND FOR HOTEL - ORANGE COUNTY

ORANGE COUNTY LANDSCAPE CODE REQUIREMENTS

MINIMUM LANDSCAPE REQUIREMENTS SECTION 24-4

SECTION 24-4(1) LANDSCAPE PLAN AND WATER-EFFICIENT LANDSCAPING

- (1) REG 400020 PLAN OPTION: NOT APPLICABLE AS FLORIDA FRIENDLY PRINCIPLES USED PER SEC. 24-4(1)(2)
- (2) FLORIDA FRIENDLY LANDSCAPING OPTION UTILIZED FOR LANDSCAPE PLAN IN NO CASE SHALL TURF EXCEED (80) PERCENT OF THE TOTAL SF AREA THAT IS LANDSCAPE NOT INCLUDING QUALIFIED RETENTION PONDS.

MAXIMUM TOTAL SQUARE FOOTAGE OF AREAS TO BE LANDSCAPED WITH TURF 80 PERCENT OF 7989 SF = 6391 SF OF MAXIMUM TURF
 3688 SF (43.8%) OF SHRUBS AND GROUND COVER BEDS PROVIDED TO MEET REQUIREMENT
 NOTE: TURF CALCULATIONS ABOVE EXCLUDE RETENTION POND AND DISTURBED TURF IN RIGHT OF WAY

ORANGE COUNTY LANDSCAPE COMPLIANCE NOTES

1. ALL PROPOSED PLANT MATERIAL IS ARE LISTED AS SPECIES UNDER THE "FLORIDA FRIENDLY" LANDSCAPE PLANT SPECIES LIST AS DESCRIBED IN FS (2008) 373-195 (1)(b)
2. REFER TO PLANT LIST FOR THE LISTING OF DROUGHT TOLERANT PLANTS AND WATER USAGE FOR EACH PLANT
3. THE IRRIGATED TURF AREA DOES NOT EXCEED 60% OF THE TOTAL SQUARE FOOTAGE WITHIN THE LIMITS OF THE PROJECT. REFER TO TURF AREA CALCULATIONS
4. THE PROPOSED LANDSCAPE PLAN COMPLIES WITH ORANGE COUNTY CHAPTER 24 (LANDSCAPING BUFFER AND OPEN SPACE)
5. MULCH REQUIREMENTS. MULCH, PER SEC. 24-4(4)(4), SHALL BE ORGANIC AND SHALL NOT BE PLACED ON TOP OF THE ROOT BALL OR PLACED AGAINST THE TRUNK. MULCH SHALL BE APPLIED A MINIMUM OF 12-18" FROM THE TRUNK OF ANY SIZED TREE MATERIAL SUCH AS ROCK AND SHELLS THAT DO NOT BIODEGRADE. ARE NOT DEEMED ACCEPTABLE FAILURE TO INSTALL MULCH (AND TYPE OF MULCH) AS PROVIDED IN THE SPECIFICATION ABOVE MAY RESULT IN A FAILURE INSPECTION. SEE HTTP://SHORT.FAS.FL.EDU/WOODY/OVERMULCHING.SHTML FOR MORE INFORMATION
6. ALL EXOTIC AND INVASIVE SPECIES AS LISTED ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S INVASIVE PLANT SPECIES LIST, SHALL BE REMOVED ON ANY LIFT AND AREAS WITHIN THE LIMITS OF CONSTRUCTION OF THE SITE DURING WORK OPERATIONS
7. TO SCHEDULE A LANDSCAPE INSPECTION FOR ALL COMPLETED PERMITS, USE THE "FAST TRACK" APPLICATION AT HTTPS://FASTTRACK.OCEI.NPT.PUBLIC.PORTAL.JOC.INDEX.JSP AND REQUEST A CODE #2777 (LANDSCAPE/CONING INSPECTION IF HAVING TROUBLE SCHEDULING IN PHASE CALL THE BUILDING SAFETY DIVISION AT (407) 896-5650. ALL PERMITS ASSOCIATED WITH THE PROJECT THAT ARE COMPLETE AND HAVE A LANDSCAPE OR CONING SCHEDULE BE ENTERED IN ORDER FOR ALL LANDSCAPE WORKS TO BE PERMITTED UPON SATISFACTORY INSPECTION. INSPECTIONS ARE CONDUCTED ON TUESDAYS AND FRIDAYS ONLY AND SHALL BE SCHEDULED NO LATER THAN MIDNIGHT ON THE NIGHT BEFORE THOSE DAYS IN ORDER TO ENSURE THAT THE INSPECTION WILL TAKE PLACE
8. PROPOSED PLANTING AREAS SHALL HAVE PERMANENT IRRIGATION SYSTEM COVERAGE. SOO AREAS ON THE SITE LABELLED RAHIA SHALL NOT BE IRRIGATED
9. THE IRRIGATION SHALL BE DESIGNED AND INSTALLED TO CONFORM TO CHAPTER 37, SEC. 601-613 OF THIS CODE

NOTES

1. SEE SHEETS R1-R4 FOR IRRIGATION PLANS
2. ALL EXISTING INVASIVE EXOTIC PLANTS, AS LISTED ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S INVASIVE PLANT SPECIES LIST, SHALL BE REMOVED (ANY DISTURBANCE OF A WETLAND AREA REQUIRES COMPLIANCE WITH CHAPTER 15 OF THE ORANGE COUNTY CODE)
3. SEE CIVIL DESIGN PLAN SHEETS
4. ALL TREE TRIMMING SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS
5. ALL TREES TO REMAIN MUST BE PROTECTED BY THE TREE PROTECTION BARRICADES PROTECTIVE BARRICADES SHALL REMAIN IN PLACE UNTIL LAND ALTERATION AND CONSTRUCTION ACTIVITIES AREA COMPLETED
6. DO NOT TRENCH WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN
7. ANY ROOTS DAMAGED SHALL BE PROPERLY ROOT PRUNED BY A CERTIFIED ARBORIST WITH A SHARP CUTTING TOOL, AS TO NOT TEAR THE ROOT. NO LARGE SUPPORTING ROOTS ON TREES TO REMAIN SHALL BE CUT
8. ALL PROPOSED TREES SHALL BE SET BACK A MINIMUM OF 6' FROM ANY HARD SURFACE
9. THE LANDSCAPE SHALL BE INSTALLED IN ACCORDANCE TO THE ORANGE COUNTY CODE CHAPTER 24
10. SEE SHEET L1 FOR ADDITIONAL LANDSCAPE NOTES
11. LANDSCAPE PLAN SET CONSISTS OF TWO (2) PLANT SCHEDULES - ONE FOR THE POND AND ONE FOR THE HOTEL SITE

PLANT SCHEDULE POND (SEE SHEET L3 FOR HOTEL PLANT SCHEDULE)

TREES	QTY	BOTANICAL NAME	COMMON NAME	HT.	SPR.	FL-FRIENDLY		
LAG MUIS	12	Laguncularia racemosa 'Nastages'	26 GAL. MIN.	26"	18"	YES		
TAX DOR	7	Taxodium distichum	Bald Cypress	14'-16"	4" MIN	YES		
SHRUBS	30	BOTANICAL NAME	COMMON NAME	CONT.	HT.	SPR.	FLORIDA-FRIENDLY	SPACING
LOR R38	30	Loropetalum chinensis Var. Rubrum Ruby	Roseleaf Chinese Fringe Bush	3 GAL.	14"	16"	YES	36" o c
MYR CE2	117	Myrica caribaea	Wax Myrtle	3 GAL.	24"	24"	YES	36" o c
VIB ODD	84	Viburnum odoratissimum	Sweet Viburnum	3 GAL.	24"	16"	YES	36" o c
SHRUB AREAS	QTY <td>BOTANICAL NAME <td>COMMON NAME <td>CONT. <td>HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td></td></td></td></td>	BOTANICAL NAME <td>COMMON NAME <td>CONT. <td>HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td></td></td></td>	COMMON NAME <td>CONT. <td>HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td></td></td>	CONT. <td>HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td></td>	HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td>	SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td>	FLORIDA-FRIENDLY <td>SPACING</td>	SPACING
SPA BAK	225	Spartina bakeri	Sand Cord Grass	1 GAL.	18"	16"	YES	36" o c
GROUND COVERS	QTY <td>BOTANICAL NAME <td>COMMON NAME <td>CONT. <td>HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td></td></td></td></td>	BOTANICAL NAME <td>COMMON NAME <td>CONT. <td>HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td></td></td></td>	COMMON NAME <td>CONT. <td>HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td></td></td>	CONT. <td>HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td></td>	HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td>	SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td>	FLORIDA-FRIENDLY <td>SPACING</td>	SPACING
DIA STA	122	Dianella isanensis 'Variegata'	Flea Lily	1 GAL.	12" MIN	12" MIN	YES	24" o c
SOD/SEED	QTY <td>BOTANICAL NAME <td>COMMON NAME <td>CONT. <td>HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td></td></td></td></td>	BOTANICAL NAME <td>COMMON NAME <td>CONT. <td>HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td></td></td></td>	COMMON NAME <td>CONT. <td>HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td></td></td>	CONT. <td>HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td></td>	HT. <td>SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td></td>	SPR. <td>FLORIDA-FRIENDLY <td>SPACING</td> </td>	FLORIDA-FRIENDLY <td>SPACING</td>	SPACING
PAS ARG	17,214 sf	Paspalum notatum 'Argentine'	Bahia Grass	SOD			YES	
STE AUG	2,555 sf	Stenandrium secundatum 'Floriam'	Flixifam St. Augustine Sod	SOD			YES	

MULCH ORGANIC MULCH - PINE STRAW MULCH TO BE APPLIED TO ALL PLANTING BEDS, 3 INCH THICK DEPTH. CYPRESS MULCH SHALL NOT BE USED. PINE STRAW MULCH AS NOTED TO COVER EXPOSED SOILS NEAR CONSERVATION EASEMENT

- PLANT SCHEDULE NOTES:
1. SOD QUANTITIES ARE SQUARE FOOT ESTIMATE. ANY DISTURBED AREAS ON SITE OR WITHIN THE R.O.W. THAT ARE NOT COVERED WITH LANDSCAPE MATERIAL OR SOD SHALL BE SODDED. SOD QUANTITIES SHOWN IN SCHEDULE ARE ESTIMATES AND FOR REFERENCE ONLY. ADDITIONAL SOD WILL BE REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING AND VERIFYING REQUIRED SOD QUANTITIES PRIOR TO BID
 2. ALL TREES, PALMS, SHRUBS, GROUND COVERS AND OTHER PLANTS SHALL CONFORM TO THE STANDARD OF FLORIDA NO. 1 OR BETTER AS GIVEN IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS BY FLORIDA DEPARTMENT OF AGRICULTURE, PART I AND II. PLANT MATERIAL SHALL ALSO CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. (AANSI) BULLETIN 2-60.1-1990 AND AS REVISED. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE
 3. THE CALIPER OF INSTALLED TREES LISTED AS BEING UP TO 4 INCHES SHALL BE MEASURED 6 INCHES ABOVE THE GROUND, AND THE CALIPER OF INSTALLED TREES LISTED AS MORE THAN 4 INCHES SHALL BE MEASURED 12 INCHES ABOVE THE GROUND.

received
12/21/20

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Christopher J Anuskiewicz
 2020.12.21
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PERMIT SUBMITTAL
 LANDSCAPE PLAN

DATE: MAY 29, 2020
 JOB NO.: 7602
 DRAWN BY: GLA
 CHECKED BY: CJA

LANDSCAPE PLAN
 L2