



**Interoffice Memorandum**

Received on November 9, 2023  
Deadline: December 19, 2023  
Publish: December 24, 2023

October 27, 2023

To: Jennifer Lara-Klimetz, Assistant Manager  
Comptroller Clerk's Office

Through: Cheryl Gillespie, Agenda Development Supervisor  
Agenda Development

From: Renée H. Parker, LEP, Manager *RHP*  
Environmental Protection Division  
(407) 836-1420

**Staff Person: Elizabeth R. Johnson, CEP, Assistant Manager  
Environmental Protection Division  
(407) 836-1511**

Subject: Request for Public Hearing on January 9, 2024, at 2:00 p.m., for a Shoreline Alteration/Dredge and Fill Permit Application (SADF-23-08-021) to authorize the construction of a replacement seawall, along the shoreline of the Lake Blanche/Lake Chase canal at 5620 Bay Side Drive, Orlando, FL 32819, Parcel ID No. 21-23-28-5938-00-460; District 1

=====

Applicant: KTM Property Holdings, LLC, Kyle Muehlstein, Manager

Type of Hearing: Shoreline Alteration/Dredge and Fill Permit Application

Hearing required by  
Florida Statute # or Code: Chapter 33, Article IV, Windermere Water and Navigational Control District

Advertising requirements: Publish once in a newspaper of general circulation in Orange County at least (7) seven days prior to public hearing.

Advertising timeframes: At least (7) seven days prior to public hearing.

Abutters to be notified: The applicant and the property owners within 500 feet of the project area will be notified at least (7) seven days prior to public hearing by the Environmental Protection Division (EPD).

Estimated time required  
For public hearing: 2 minutes

January 9, 2024

Request for Public Hearing – Shoreline Alteration/Dredge and Fill Permit Application for Kyle Muehlstein (SADF-23-08-021)

Lake Advisory Board  
to be notified:

Windermere Water & Navigational Control District  
Ijaz Ahmed (Chairman) – [ijazahmed736@gmail.com](mailto:ijazahmed736@gmail.com)

Municipality or other  
Public Agency to be  
notified:

South Florida Water Management District – [lprather@sfwmd.gov](mailto:lprather@sfwmd.gov)

Hearing Controversial: No

District #: 1

Materials being submitted as backup for public hearing request:

1. Location Map
2. Site Plan
3. Site Photos

Special Instructions to Clerk:

1. Once the Board of County Commissioners makes a decision on the Shoreline Alteration/Dredge and Fill Permit Application, please submit the decision letter to Liz Johnson with EPD. EPD will issue the decision to the applicant.

Advertising Language:

1. Applicant, KTM Property Holdings, LLC, is requesting a Shoreline Alteration/Dredge and Fill Permit Application (SADF-23-08-021) to authorize the construction of a replacement seawall along the shoreline of the Lake Blanche/Lake Chase canal at 5620 Bay Side Drive, Orlando, FL 32819, pursuant to Chapter 33, Article IV, Windermere Water and Navigational Control District; Parcel ID No. 21-23-28-5938-00-460; District 1 (property legal description on file at EPD).

CD/KGK/TMH/ERJ/RHP: jk

Attachments

# Shoreline Alteration/Dredge and Fill Permit Request



## Shoreline Alteration / Dredge and Fill

Permit Request

SADF-23-08-021

District #1

**Applicant:** Kyle Muehlstein, KTM Property Holdings, LLC

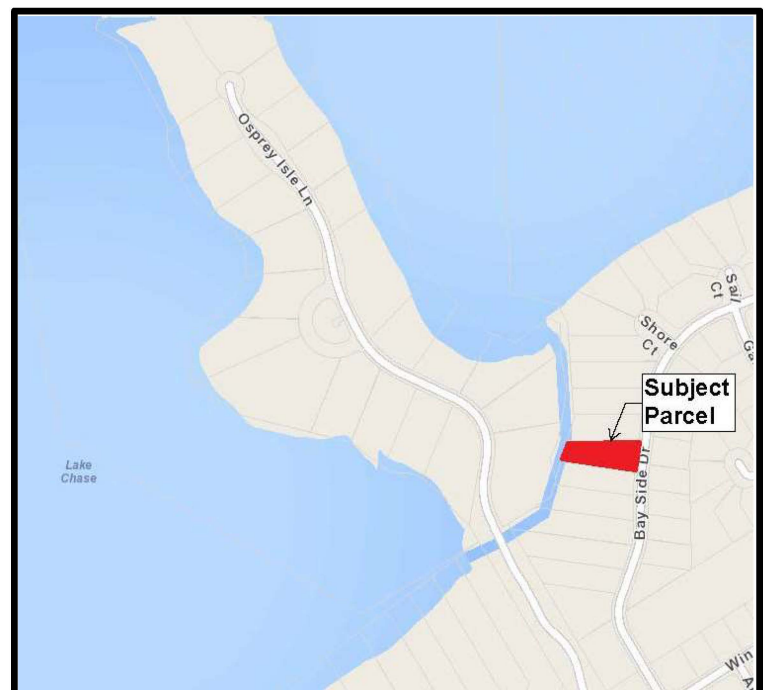
**Address:** 5620 Bay Side Drive

**Parcel ID:** 21-23-28-5938-00-460

**Project Site**



**Property Location**



# Muehlstein Residence Dock

## Specifications and Notations:

- General Notes:**
- G1. These notes shall apply to all work in this set of drawings.
  - G2. It will be the responsibility of the contractor(s) to insure that all required permits are obtained and are in hand at the job site prior to the commencement of construction. Contractors shall abide by all conditions contained therein.
  - G3. Prior to commencement, the contractor shall provide a construction schedule for various site work elements so that site visits may be coordinated.
  - G4. The contractor shall immediately notify the engineer of any discrepancies found between the drawings and the field conditions prior to construction in the area impacted by the conflict.
  - G5. In accordance with Florida Law (553.851) the contractor must notify the gas or other utility a minimum of 48 hours and a maximum of five days prior to excavation. (Excluding weekends).
  - G10. All requirements and recommendations of inspection personnel other than the owner's shall be reported to the engineer/owner prior to implementation. Compensation will not be allowed for work which is not authorized by the engineer/owner.
  - G11. All work shall be open to and subject to inspection by authorized personnel of the utility companies, project engineer and regulatory agencies.
  - G12. Contractor shall notify all appropriate utility companies and water management agencies of proposed start up. All work shall be in accordance with their requirements including but not limited to water, sewer, drainage, power, telephone, Gas and cable TV companies.

## Grading & Drainage Specifications:

- 1. In accordance with Florida Law (553.851) the contractor must notify the gas or other utility a minimum of 48 hours and a maximum of five days prior to excavation. (Excluding weekends).
- 2. Contractor shall verify all existing grades in the field and shall notify the engineer of any discrepancies prior to construction.
- 3. Where new earthwork meets existing, smoothly blend line and grade of existing and new to provide vertical curves at the top and bottom of all slopes.
- 4. Excavation required within proximity of utility lines shall be done by hand. Contractor shall repair any damage to existing utilities incurred during construction.
- 5. All points of construction ingress and egress shall be maintained to prevent tracking or flow of sediment onto public roads, adjacent wetlands or bodies of water.

## F - Erosion and Siltation Control

- E1. A suitable perimeter silt fence shall be constructed and maintained for the duration of the project. The silt fence shall be built at the "silt fence line" as defined on the plans. Outlets and discharge points shall be protected with two layers of hay bales and filter cloth. Adjacent wetlands and open bodies of water, contractor must use a double fence separated by 5 feet. (See sheet for specific erosion control placement and details.)
- E2. Seed all disturbed areas not shown as landscaping, slopes 6:1 or greater, swales, and ponds.
- E3. Protect at all time against runoff or dewatering pollution of any downstream area or adjacent properties. Correct problems immediately.

## Schedule of Drawings

- C1 - Cover Sheet & Site Plan
- C2 - Dock Installation Plan
- C3 - Elevations & Seawall Details

**received**  
10/5/2023



Location Plan  
STR - 21/23/28 Scale: N.T.S.  
Parcel ID: 21-23-28-5938-00-460

Site Address:  
5620 Bay Side Dr  
Orlando, FL 32819-4045

Parcel ID: 21-23-28-5938-00-460

Engineer:  
Darcy Unroe PE  
Unroe Engineering, Inc  
PO Box 690942  
Orlando, Florida 32869  
Ph (407) 299-0650

## Project Description

Install new private boat dock on an residential property.

## Design Load Table

Floor Live Loads	
Decks & Walkways	- 60 psf
Roofs	- 20 psf
<b>Wind Design Data</b>	
Ultimate Wind Speed	- 139 mph
Basic Wind Speed	- 108 mph
Risk Category	- II
Wind Exposure	- D
Exposure Class	- Not Enclosed
Int pressure Coeff	- 0.85+/-
<b>Peak Wind Load</b>	- 35.99 psf

## Project Data

<b>General Information</b>	
Total Site Area	22,650 sf (0.52 Ac)
Width at NML:	79.9 lf
<b>Construction Data</b>	
Construction Type:	V
Building Description:	PT Wood
Building Area:	780 sf
<b>Applicable Codes</b>	
Florida Building Code 2020	

## Wood Frame Construction Notes:

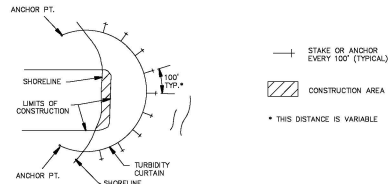
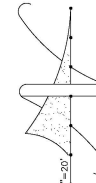
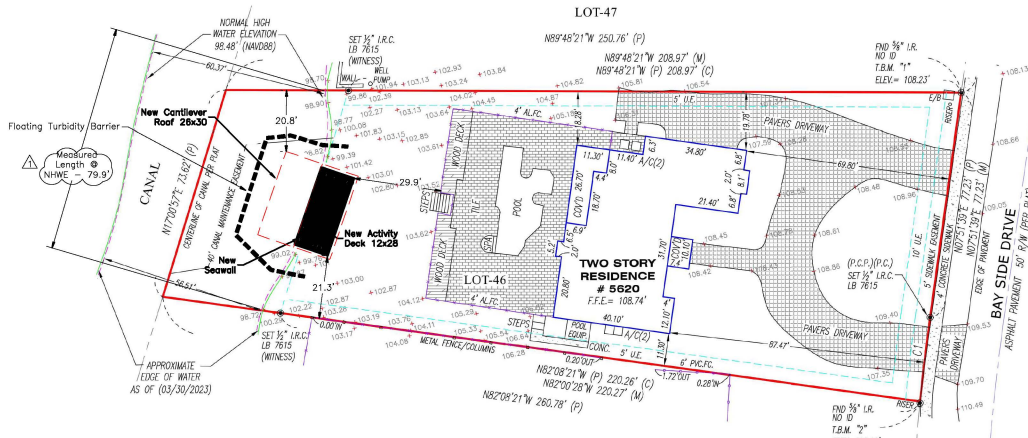
- a. Design Parameters: per Load Table
- b. Lumber exposed to weather or contacting concrete or steel shall be pressure treated (PT)
- c. All lumber in contact with concrete products shall be shielded by a protective barrier.
- d. All fasteners in contact with pressure treated lumber are to be hot dipped galvanized or stainless steel.
- e. All dimensions shall be field verified. The engineer and owner shall be notified immediately of any discrepancies from dimensions or field conditions noted herein.
- f. Elevation views are for visual reference only. Always refer to layout plans for specified measurements.
- g. Anchor positions shall have a tolerance of ±1".
- h. Written dimensions supersede scaled dimensions in all cases. Any dimensional discrepancies shall be brought to the attention of the engineer immediately.

## Dock Area Calculations

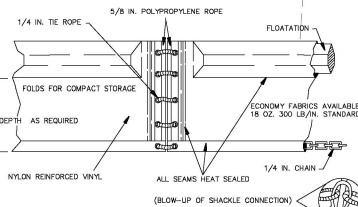
Length of property at the NML - 79.9 lf

Dock Area Calculation  
Allowable area = (10 sf/lf \* 79.9 lf) - 799 sf

Cantelver Roof (13x30) - 390 sf < 799 (OK)



TYPICAL LAYOUTS OF FLOATING TURBIDITY BARRIERS  
STREAMS, PONDS, AND LAKES (PROTECTED AND NON-TIDAL)



## TYPE I FLOATING TURBIDITY BARRIER

**Floatation Material:**  
Expanded Polyethylene Logs, 6" diameter, 55" Long, enclosed in 22 oz/sy PVC coated nylon or polyester (400 lbs min. tensile strength)  
**Curtain Material:**  
Silt film woven polypropylene (300 lbs min. tensile strength)  
**Curtain Weight:**  
Galvanized steel chain.

Change	Orders	Date	Description

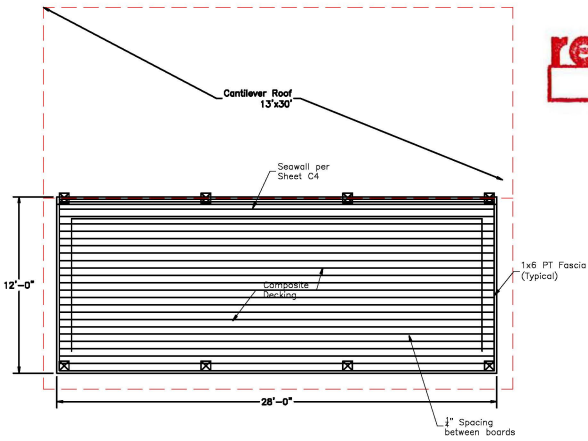
**Unroe Engineering, Inc**  
Civil Engineering/Planning/Scientific Evaluation  
PO Box 690942, Orlando, FL 32869-0942  
Business Authorization Number - EB 00006979 Ph (407) 299-0650

**Cover Sheet & Site Plan**  
Muehlstein Residence Dock  
5620 Bay Side Dr, Orlando, Florida 32819

DP	Drawn
DP	Checked
1"=20'	Scale
8/20/23	Date
Muehlstein-C1	File
Dwg. No.	

**C1**  
1 of 3

This item has been electronically signed and sealed by Darcy Unroe, PE 60929 on the date indicated using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copy.



**Terminal Deck Plan**  
Scale: 1"=1/4"

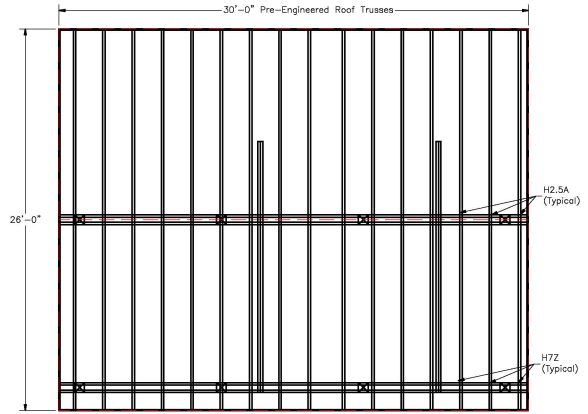
**received**  
10/5/2023

**Deck Framing Specifications**  
Engineering Plan  
Framing Type: Conventional Hand Framed (Typ)

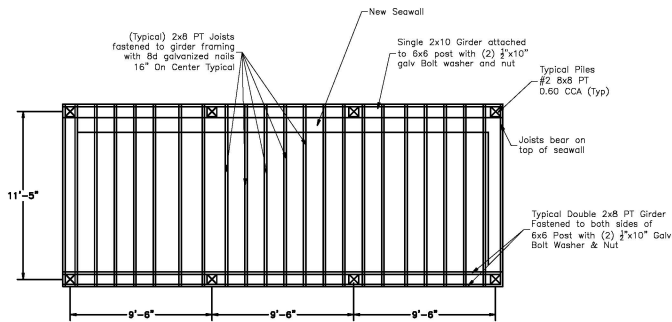
**Piles**  
#2 Grade Dense 6x6 Pressure Treated 0.60 CCA  
**Dock & Upper Level Framing**  
Girders & Joists shall be #2 Grade Type 1  
2x8 Pressure Treated 0.40 CCA  
**Floor Decking**  
1x8 Composite Decking

**Structural Connections**  
**Floor Frame to Pile Connection**  
2" H.D.G. Thru Bolts

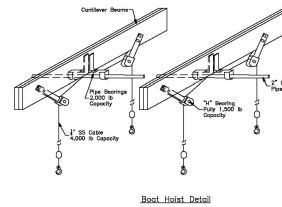
**Roof Framing Specifications**  
**Piles**  
#2 Grade Dense 6x6 Pressure Treated 0.60 CCA  
**Framing**  
Roof Headers: (2) 2x12 Pressure Treated 0.40 CCA  
Roof Decking: 3/4" Zip Plywood  
**NAILING**  
Roof Frame to Pile Connection: 2" H.D.G. Thru Bolts  
Bracing to Pile Connections: 2" H.D.G. Lag Bolts  
**Engineering Plan**  
Deck Framing Type: Conventional Hand Framed  
Roof Framing Type: Pre-Engineered Trusses



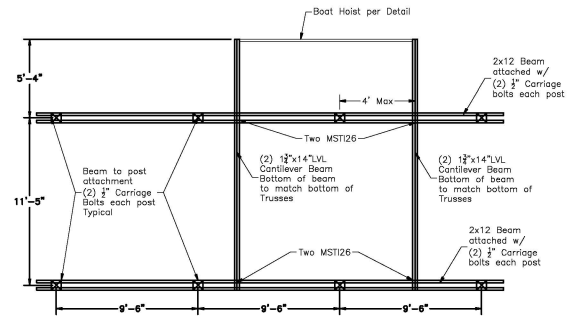
**Roof Framing Plan**  
Scale: 1"=1/4"



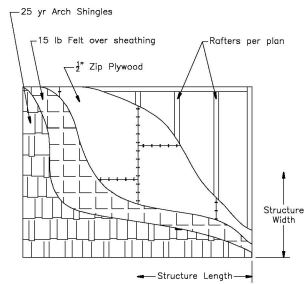
**Terminal Framing Plan**  
Scale: 1"=1/4"



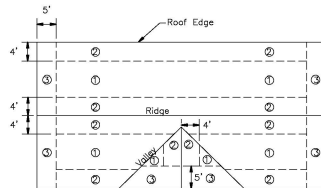
**Boat Hoist Detail**



**Roof Beam Plan**  
Scale: 1"=1/4"



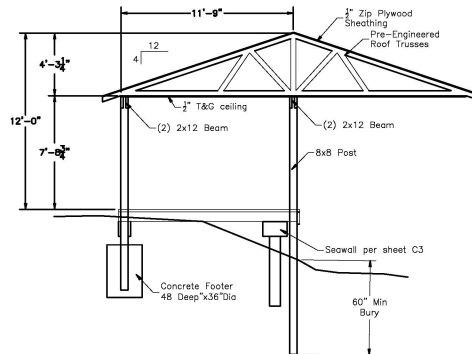
**Roof Layering Detail - Shingle Roof**



**Nailing Zone Plan**

**Roof Sheathing Nailing Zone Legend**  
Zone 1 - Use 8d common nails @ 6" O.C.  
Zone 2 & 3 - Use 8d common nails @ 4" O.C.

For 1x8 T&G Roof decking, use one nail per joist in all zones.



**Construction Section**  
Scale: 1"=1/4"

This item has been electronically signed and sealed by Darcy Unroe, PE 60929 on the date indicated using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copy.

Revisions	#	Date	Description

**Unroe Engineering, Inc**  
Civil Engineering/Planning/Scientific Evaluation  
PC Box 690942, Orlando, FL 32669-0942  
Business Authorization Number - EB 00060679 ph (407) 299-0650

**Dock Installation Plan**  
Muehlstein Residence Dock  
5620 Bay Side Dr, Orlando, Florida 32819

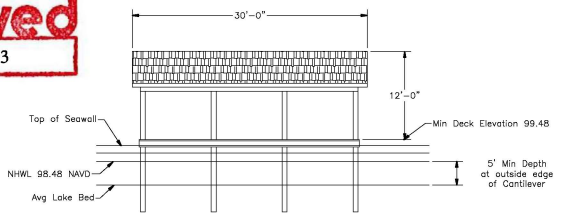
DP	Drawn
DP	Checked
Per Plan	Scale
8/20/23	Date
Muehlstein-C2	File
Dwg. No.	

**C2**

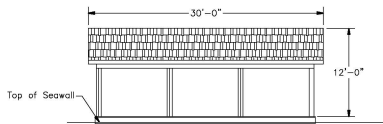
2 of 3

**received**

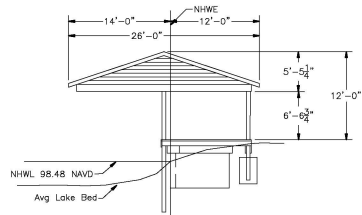
10/5/2023



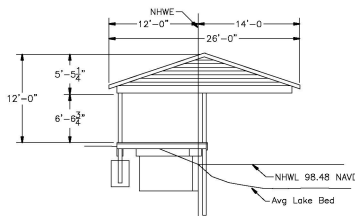
Front Elevation



Rear Elevation

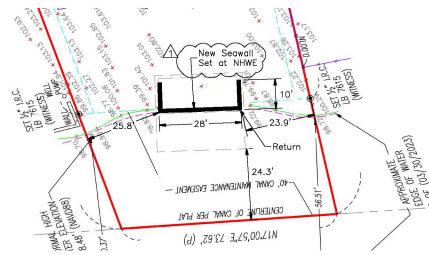


Side Elevation



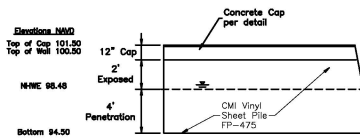
Side Elevation

Note:  
Min 2' depth from NHWE in the Mooring Area



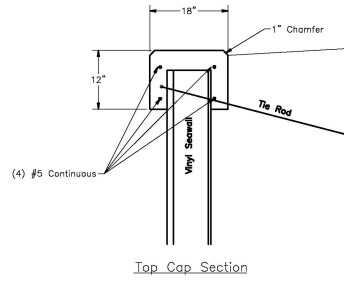
Seawall Layout Plan

Scale: 1"=20'

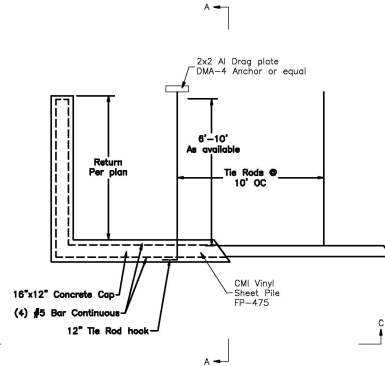


Elevation View (C-C)

Scale: 1/4"=1'



Top Cap Section



Section View (A-A)

(4) #5 Continuous

Change	Order	Description	Date	Drawn

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 890942, Orlando, FL 32889-0942  
 Business Authorization Number - EB 0000679    ph (407) 898-0650

**Elevations & Seawall Details**  
 Muehlstein Residence Dock  
 5620 Bay Side Dr, Orlando, Florida 32819

DP	Drawn
DP	Checked
Per Plan	Scale
8/20/23	Date
Muehlstein-C1	File
Dwg. No.	

**C3**  
 3 of 3

This item has been electronically signed and sealed by Darcy Unroe, PE 60929 on the date indicated using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copy.







