



Interoffice Memorandum

Received: April 5, 2021 @ 2:14PM
Publish: April 18, 2021
Deadline: April 13, 2021

Date: March 22, 2021

CF
APR 5 21 2:15PM

TO: Katie Smith, Deputy Clerk, Comptroller Clerk's Office

APR 5 21 PM 2:14

THRU: Cheryl Gillespie, Agenda Development Supervisor
Agenda Development Office, BCC

RCUD

FROM: Diana M. Almodovar, P.E., County Engineer, Public Works Department

DM

THRU: Julie Alber, Assistant Project Manager
Development Engineering Division, Public Works Department
Telephone: 407-836-7928
E-mail address: julie.alber@ocfl.net

RE: **Request for Public Hearing PTV-20-07-021 - Mr. John Prowell, on behalf of American Land Investments of Orange County, LLC.**

Applicant: Mr. John Prowell
225 E Robinson St. Suite 300
Orlando, FL 32801

Location: S20/T22/R32 Petition to vacate a 25 foot wide unopened and unimproved right-of-way known as Western Parkway, containing approximately 0.42 acres. Public interest was created by the plat of East Cloverdale as recorded in Plat Book K, Page 73, of the public records of Orange County, Florida. The parcel ID number is 20-22-32-0000-00-002. The parcel address is 16499 East Colonial Drive, and the parcel lies in District 5.

Estimated time required for public hearing: Two (2) minutes, not to exceed ten (10) minutes.

Hearing controversial: No.

Advertising timeframes: Publish the petition, the Clerk's estimated hearing date, time and place at least 14 days prior to the date set for the public hearing. Publish the notice of adoption within 30 days of the hearing date.

Applicant/Abutters to Be notified: Yes – Mailing label is attached.

Request for Public Hearing PTV # 20-07-021 Mr. John Prowell, on behalf of American Land Investments of Orange County, LLC.

Hearing by Fla. Statute # or code: Pursuant to Section 336.10 of the Florida Statutes.

Spanish contact person: Para más información acerca de esta vista pública, favor de comunicarse con la División de Ingeniería de Desarrollos (Development Engineering Division) al número 407-836-7921.

Materials being submitted as backup for public hearing request:

1. Complete originals and exhibits
2. Certified sketch and legal description
3. Receipt of payment of petition fees
4. Proof of property ownership
5. Mailing label

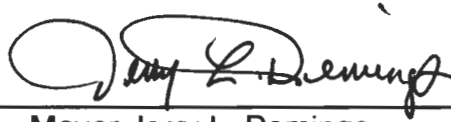
SPECIAL INSTRUCTIONS TO CLERK (IF ANY):

Please notify Julie Alber of the scheduled date and time. The Development Engineering Division will notify the customer.

**PUBLIC WORKS DEPARTMENT
DEVELOPMENT ENGINEERING DIVISION
REQUEST FOR COUNTY MAYOR'S APPROVAL
MARCH 24, 2021**

Request authorization to schedule a Public Hearing for Petition to Vacate 20-12-051. This is a request from John Prowell, on behalf of American Land Investments of Orange County, LLC to vacate a 25 foot wide unopened and unimproved right-of-way known as Western Parkway, containing approximately 0.42 acres, which lies in District 5. Staff has no objection to this request.

Requested Action
Approved by



Mayor Jerry L. Demings

3/25/21

(Date)

NOTE: FURTHER PROCESSING NECESSARY:

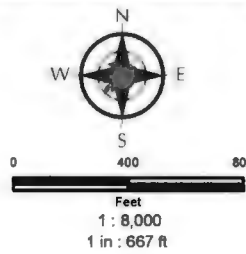
Please return to Julie Alber via interoffice mail.

If you have any questions
regarding this map, please call
Julie Alber
at 407.836.7928.



PTV # 20-07-021
Adam Smith, on behalf of
American Land Investments of Orange County, LLC

	Proposed Vacation		Subject Property
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**PETITION REQUESTING VACATION OF
ORANGE COUNTY ROAD, RIGHT OF WAY OR EASEMENT**

To: Board of County Commissioners
Orange County, Florida

The undersigned hereby petitions the Board of County Commissioners to vacate an existing right-of-way or easement and to disclaim any right Orange County and the public have in that right-of-way or easement.

The undersigned does hereby certify:

PUBLIC INTEREST IN RIGHT OF WAY OR EASEMENT:

The title or interest of Orange County and the public in the above described right-of-way or easement is acquired and is evidenced in the following manner: (state whether public interest acquired by deed, dedication or prescription).

Public interest was created per Plat Book K, Page 73 of the Public Records of Orange County, Florida.

ATTACH SKETCH AND DESCRIPTION: Attached as Exhibit "A" is a sketch and legal description prepared by a registered land surveyor accurately showing and describing the above-described right-of-way or easement, and showing its location in relation to the surrounding property.

SEE ATTACHED EXHIBIT 'A'

ABUTTING PROPERTY OWNER: Attached as Exhibit "B" is a list which constitutes a complete and accurate schedule of all abutting property owners (other than the petitioner). This exhibit *may* also include any letters received from abutting property owners resulting from courtesy letters sent to them.

SEE ATTACHED EXHIBIT 'B'

ACCESS TO OTHER PROPERTY: The undersigned certifies that if this petition is granted and the right-of-way or easement is terminated, no other property owner will be denied access to and from his or her property.

POSTING OF NOTICE: The undersigned agrees to place a notice of petition to vacate on the subject property in a conspicuous and easily visible location no later than ten (10) days prior to the public hearing on the petition. This notice will be available at the Orange County Public Works Division after a Public Hearing has been scheduled.

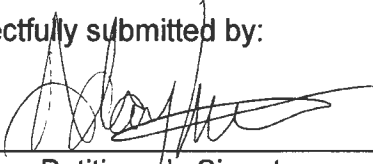
PUBLIC UTILITIES: Attached as Exhibit "C" are certificates of public utility companies serving the area of the above-described property, and each utility company has certified that the vacating will not interfere with the utility services being provided.

SEE ATTACHED EXHIBIT 'C'

NO FEDERAL OR STATE HIGHWAY AFFECTED: The undersigned certifies that, to the best of his or her knowledge, the above-described right-of-way or easement is not a part of any existing or proposed state or federal highway. It was not acquired or dedicated for state or federal highway purposes, and such right of way or easement is under the control and jurisdiction of the Board of County Commissioners.

GROUNDS FOR GRANTING PETITION: The undersigned submits as grounds and reasons in support of this petition the following: (State in detail why the petition should be granted)

Respectfully submitted by:



Petitioner's Signature
(Include title if applicable)

ADAM SMITH (VHB)

Print Name

Address: 225 E. Robinson Street, Suite 300

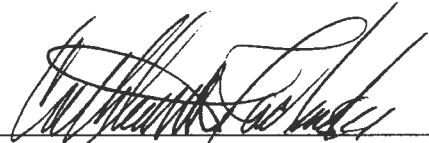
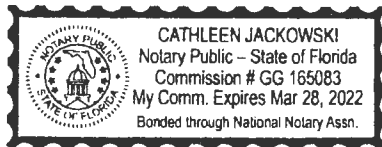
Orlando, FL 32801

Phone Number: (407) 893-4744

STATE OF FLORIDA

COUNTY OF ORANGE

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 2nd day of April, 2020, who is personally known or who has produced _____ as identification.



Signature of Notary

Cathleen Jackowski

Print Name

EXHIBIT "A"

LEGAL DESCRIPTION AND SKETCH OF DESCRIPTION

LEGAL DESCRIPTION

THIS IS NOT A SURVEY

*CK
MM
7/22/2020*

A STRIP OF LAND LYING IN SECTION 20, TOWNSHIP 22 SOUTH, RANGE 32 EAST, BEING THAT PORTION OF WESTERN PARKWAY, EAST CLOVERDALE ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK K, PAGE 73 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING BOUNDED ON THE SOUTH BY THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 50, ON THE EAST BY THE WEST LINE OF TRACT 1 OF SAID EAST CLOVERDALE, ON THE NORTH BY THE NORTH LINE OF SAID EAST CLOVERDALE AND ON THE WEST BY THE WEST LINE OF WESTERN PARKWAY, DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF SAID TRACT 1; THENCE RUN SOUTH 00°01'35" WEST, ALONG SAID WEST LINE OF TRACT 1, A DISTANCE OF 728.26 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SAID STATE ROAD 50; THENCE RUN NORTH 70°42'46" WEST, ALONG SAID NORTH RIGHT-OF-WAY LINE, 26.48 FEET TO THE WEST RIGHT-OF-WAY LINE OF SAID WESTERN PARKWAY; THENCE RUN NORTH 00°01'35" EAST, ALONG SAID WEST RIGHT-OF-WAY LINE, 719.70 FEET TO THE NORTHWEST CORNER OF SAID EAST CLOVERDALE; THENCE RUN SOUTH 89°34'18" EAST, ALONG THE NORTH LINE OF SAID EAST CLOVERDALE, 25.00 FEET TO THE POINT OF BEGINNING:

THE ABOVE DESCRIBED STRIP OF LAND LIES IN ORANGE COUNTY, FLORIDA AND CONTAINS 18,099 SQUARE FEET MORE OR LESS.

SHEET 1 OF 2
SEE SHEET 2 OF 2
FOR SKETCH OF DESCRIPTION



**ALLEN
&
COMPANY**

Professional Surveyors & Mappers

16 East Plant Street
Winter Garden, Florida 34787 • (407) 654 5355

SURVEYOR'S NOTES:

1. THIS SKETCH IS NOT VALID UNLESS SIGNED AND SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
2. BEARINGS SHOWN HEREON ARE ASSUMED AND BASED ON THE WEST LINE OF TRACT 1, EAST CLOVERDALE, PLAT BOOK K, PAGE 73, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING SOUTH 00°01'35" WEST.
3. THE LEGAL DESCRIPTION WAS PREPARED WITHOUT BENEFIT OF TITLE.
4. THE ADJOINING RECORDING INFORMATION SHOWN HEREON WAS OBTAINED FROM THE ORANGE COUNTY PROPERTY APPRAISER PUBLIC ACCESS SYSTEM.
5. DELINEATION OF THE LANDS SHOWN HEREON ARE AS PER THE CLIENT'S INSTRUCTIONS.
6. THE LEGAL DESCRIPTION SHOWN HEREON WAS PREPARED BY THE SURVEYOR AT THE CLIENTS REQUEST.

SKETCH 1

JOB NO. 20150412
DATE: 6-30-2020
SCALE: 1"=100'
FIELD BY: N/A

CALCULATED BY: SEJ
DRAWN BY: SEJ
CHECKED BY: MR

FOR THE LICENSED BUSINESS # 6723 BY:

[Signature]
JAMES L. RICKMAN P.S.M. # 5633

EXHIBIT "B"

Does not apply – petitioner owns all property
surrounding the area requested for vacation

EXHIBIT "C"

UTILITY LETTERS



July 9, 2020

Ref: 63612.00

Mr. Mark Andrade
AT&T
1227 S. Division Avenue
Orlando, FL 32805

Dear Mr. Andrade:

VHB is in the process of requesting that Orange County vacate an existing right of way referred to as Western Parkway, as shown on the copy of the enclosed parcel map from the Orange County Property Appraisers. The portion of existing right of way to be vacated lies within a parcel owned by American Land Investments of Orange County LLC. In order to have this action heard, VHB must provide letters of no objection from utility companies who have jurisdiction in this neighborhood.

Please review your records, complete the form below, and return this letter to me. Please note that Orange County requires an original signed letter from the utility company (not a scanned document). If you have any questions, please contact Ann Schwartz at 407-893-4757.

Sincerely,

Vanasse Hangen Brustlin, Inc.

Ann F. Schwartz, P.E.

Senior Project Engineer
aschwartz@vhb.com

Engineers | Scientists | Planners | Designers

225 E. Robinson Street, Suite 300
Landmark Center Two
Orlando, Florida 32801
P 407.839.4006
F 407.839.4008

Mr. Mark Andrade
Ref: 63612.00
July 9, 2020
Page 2



The subject parcel is not within our jurisdiction.

The subject parcel is within our jurisdiction. We do do not (circle one) have any facilities within the easement/right of way. We have no objection to the vacation.

Additional Comments: THE ONLY FACILITY WE HAVE IN THE VICINITY ARE AERIAL ALONG SR-50 IN THE R/W ON A POLE LINE.

Signature: *Brian Reese*

Print Name: BRIAN REESE

Title: MGR OSP PLNG & ENGRG DESIGN, WIRELINE ACCESS-SOUTHEAST, FLORIDA ENGINEERING

Date: 7/10/20

Phone #: 407-222-3970



July 8, 2020

Ref: 63612.00

Mr. Ronald Tynes
Charter/Spectrum
3767 All American Blvd.
Orlando, FL 32810

Dear Ms. Singh:

VHB is in the process of requesting that Orange County vacate an existing right of way referred to as Western Parkway, as shown on the copy of the enclosed parcel map from the Orange County Property Appraisers. The portion of existing right of way to be vacated lies within a parcel owned by American Land Investments of Orange County LLC. In order to have this action heard, VHB must provide letters of no objection from utility companies who have jurisdiction in this neighborhood.

Please review your records, complete the form below, and return this letter to me. Please note that Orange County requires an original signed letter from the utility company (not a scanned document). If you have any questions, please contact Ann Schwartz at 407-893-4757.

Sincerely,

Vanasse Hangen Brustlin, Inc.

Ann F. Schwartz, P.E.
Senior Project Engineer
aschwartz@vhb.com

Engineers | Scientists | Planners | Designers

225 E. Robinson Street, Suite 300
Landmark Center Two
Orlando, Florida 32801
P 407.839.4006
F 407.839.4008

Mr. Ronald Tynes
Ref: 6312.00
July 8, 2020
Page 2



The subject parcel is not within our jurisdiction.

The subject parcel is within our jurisdiction. We do (circle one) have any facilities within the easement/right of way. We have no objection to the vacation.

Additional Comments: Parcel in subject is Parcel# 20-22-32-0000-00-002

Signature: *Ronald B. Tynes, Jr.*

Print Name: Ronald B. Tynes, Jr

Title: Construction Supervisor, Spectrum

Date: 7-9-20

Phone #: 407-468-6892

LEGAL DESCRIPTION

THIS IS NOT A SURVEY

A STRIP OF LAND LYING IN SECTION 20, TOWNSHIP 22 SOUTH, RANGE 32 EAST, BEING THAT PORTION OF WESTERN PARKWAY, EAST CLOVERDALE ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK K, PAGE 73 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING BOUNDED ON THE SOUTH BY THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 50, ON THE EAST BY THE WEST LINE OF TRACT 1 OF SAID EAST CLOVERDALE, ON THE NORTH BY THE NORTH LINE OF SAID EAST CLOVERDALE AND ON THE WEST BY THE WEST LINE OF WESTERN PARKWAY, DESCRIBED AS FOLLOWS:

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THE ABOVE DESCRIBED STRIP OF LAND LIES IN ORANGE COUNTY, FLORIDA AND CONTAINS 18,099 SQUARE FEET MORE OR LESS.

SHEET 1 OF 2
SEE SHEET 2 OF 2
FOR SKETCH OF DESCRIPTION



16 East Plant Street
Winter Garden, Florida 34787 * (407) 654-5355

SURVEYOR'S NOTES:

1. THIS SKETCH IS NOT VALID UNLESS SIGNED AND SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
2. BEARINGS SHOWN HEREON ARE ASSUMED AND BASED ON THE WEST LINE OF TRACT 1, EAST CLOVERDALE, PLAT BOOK K, PAGE 73, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING SOUTH 00°01'35" WEST.
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6. THE LEGAL DESCRIPTION SHOWN HEREON WAS PREPARED BY THE SURVEYOR AT THE CLIENTS REQUEST.

SKETCH 1

JOB NO. 20150412
DATE: 6-30-2020
SCALE: 1"=100'
FIELD BY: N/A

CALCULATED BY: SEJ
DRAWN BY: SEJ
CHECKED BY: MR

FOR THE LICENSED BUSINESS # 6723 BY:

JAMES L. RICKMAN P.S.M. # 5633

SKETCH OF DESCRIPTION THIS IS NOT A SURVEY

NW. CORNER OF
EAST CLOVERDALE

NOT PLATTED

L2

N. LINE OF EAST CLOVERDALE

P.O.B.
NW CORNER TRACT 1



NOT PLATTED

WEST R/W LINE OF WESTERN PARKWAY

719.70'

N00°01'35"E

WESTERN PARKWAY (PLAT BOOK K, PAGE 73)

728.26'

S00°01'35"W

WEST LINE OF TRACT 1

25.00'

EAST EAST CLOVERDALE
(PLAT BOOK K, PAGE 73)

TRACT 1

TRACT 2

LINE TABLE		
LINE	BEARING	LENGTH
L1	N70°42'46"W	26.48'
L2	S89°34'18"E	25.00'

STATE ROAD 50
(200' R/W)
SECTION 75060
SHEETS 1-16
NOT PLATTED

N R/W LINE

L1

SKETCH 1



**ALLEN
&
COMPANY**

16 East Plant Street
Winter Garden, Florida 34787 • (407) 654-5355

LEGEND:
P.O.B.....POINT OF BEGINNING
R/W.....RIGHT-OF-WAY LINE

JOB NO. 20150412

CALCULATED BY: SEJ

DATE: 6-30-2020

DRAWN BY: SEJ

SCALE: 1"=100'

CHECKED BY: MR

FIELD BY: N/A

SHEET 2 OF 2
SEE SHEET 1 OF 2
FOR LEGAL DESCRIPTION



July 7, 2020

Ref: 63612.00

Right Way Vacate
Duke Energy

To Who It May Concern

VHB is in the process of requesting that Orange County vacate an existing right of way referred to as Western Way, as shown on the copy of the enclosed parcel map from the Orange County Property Appraisers. The portion of existing right of way to be vacated lies within a parcel owned by American Land Investments of Orange County LLC. In order to have this action heard, VHB must provide letters of no objection from utility companies who have jurisdiction in this neighborhood.

Please review your records, complete the form below, and return this letter to me. Please note that Orange County requires an original signed letter from the utility company (not a scanned document). If you have any questions, please contact Ann Schwartz at 407-893-4757.

Sincerely,

Vanasse Hangen Brustlin, Inc.

Ann F. Schwartz, P.E.

Senior Project Engineer
aschwartz@vhb.com

225 E. Robinson Street, Suite 300
Landmark Center Two
Orlando, Florida 32801
P 407.839.4006
F 407.839.4008

Engineers | Scientists | Planners | Designers



The subject parcel is not within our jurisdiction.

The subject parcel is within our jurisdiction. We do/do not (circle one) have any facilities within the easement/right of way. We have no objection to the vacation.

Additional Comments: Easement secured

Signature: Natalie Haney

Print Name: Natalie Haney

Title: Research Specialist - Duke Energy

Date: January 21, 2021

Phone #: 407-942-9766



January 21, 2020

Ann F. Schwartz, PE
VHB Viewpoints
225 E. Robinson Street, Suite 300
Orlando, Florida 32801

RE: Right-of-Way Vacate Request – 16499 E. Colonial Drive, Orlando, FL 32820

Dear Ms. Schwartz:

Please be advised that Duke Energy Distribution and Transmission Departments **DO NOT OBJECT** to the vacation and abandonment of the road right-of-way, south of the property more particularly described as:

A STRIP OF LAND LYING IN SECTION 20, TOWNSHIP 22 SOUTH, RANGE 32 EAST, BEING THAT PORTION OF WESTERN PARKWAY, EAST CLOVERDALE ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK K, PAGE 73 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING BOUNDED ON THE SOUTH BY THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 50, ON THE EAST BY THE WEST LINE OF TRACT 1 OF SAID EAST CLOVERDALE, ON THE NORTH BY THE NORTH LINE OF SAID EAST CLOVERDALE AND ON THE WEST BY THE WEST LINE OF WESTERN PARKWAY, DESCRIBED AS FOLLOWS:

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THE ABOVE DESCRIBED STRIP OF LAND LIES IN ORANGE COUNTY, FLORIDA AND CONTAINS 18,099 SQUARE FEET MORE OR LESS.

More particular as shown on Sketch of Description attached hereto as Exhibit "A" and incorporated herein by reference.

If I can be of further assistance, please do not hesitate to contact me.

--

Natalie Haney
Real Estate Research Specialist
Land Services - 3300 Exchange Place
Lake Mary, FL 32746 | Mail Code: NP04

EXHIBIT "A"

LEGAL DESCRIPTION
THIS IS NOT A SURVEY

A STRIP OF LAND LYING IN SECTION 20, TOWNSHIP 22 SOUTH, RANGE 32 EAST, BEING THAT PORTION OF WESTERN PARKWAY, EAST CLOVERDALE ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK K, PAGE 73 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING BOUNDED ON THE SOUTH BY THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 50, ON THE EAST BY THE WEST LINE OF TRACT 1 OF SAID EAST CLOVERDALE, ON THE NORTH BY THE NORTH LINE OF SAID EAST CLOVERDALE AND ON THE WEST BY THE WEST LINE OF WESTERN PARKWAY, DESCRIBED AS FOLLOWS:

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SHEET 1 OF 2
SEE SHEET 2 OF 2
FOR SKETCH OF DESCRIPTION



**ALLEN
&
COMPANY**
Registered Professional Mapper

16 East Plant Street
Winter Garden, Florida 34787 • (407) 854-5355

SURVEYOR'S NOTES:

1. THIS SKETCH IS NOT VALID UNLESS SIGNED AND SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

2. BEARINGS SHOWN HEREON ARE ASSUMED AND BASED ON THE WEST LINE OF TRACT 1, EAST CLOVERDALE, PLAT BOOK K, PAGE 73, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING SOUTH 00°01'35" WEST.

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SKETCH 1

JOB NO. 20150412	CALCULATED BY: SEJ	FOR THE LICENSED BUSINESS # 6723 BY:
DATE: 6-30-2020	DRAWN BY: SEJ	
SCALE: 1"=100'	CHECKED BY: MR	
FIELD BY: N/A		JAMES L. RICKMAN P.S.M. # 5633

SKETCH OF DESCRIPTION
THIS IS NOT A SURVEY

NW. CORNER OF
EAST CLOVERDALE

NOT PLATTED

N. LINE OF EAST CLOVERDALE

P.O.B.
NW CORNER TRACT 1



NOT PLATTED

WEST R/W LINE OF WESTERN PARKWAY
N00°01'35"E
WESTERN PARKWAY (PLAT BOOK K, PAGE 73)
719.70'

728.26'

S00°01'35"W
WEST LINE OF TRACT 1

25.00'

EAST EAST CLOVERDALE
(PLAT BOOK K, PAGE 73)

TRACT 1

TRACT 2

LINE TABLE		
LINE	BEARING	LENGTH
L1	N70°42'46"W	26.48'
L2	S89°34'18"E	25.00'

STATE ROAD 50
(200' R/W)
SECTION 75060
SHEETS 1-16
NOT PLATTED

N R/W LINE

L1

SKETCH 1



ALLEN
&
COMPANY

Professional Surveyors & Mappers

16 East Plant Street
Winter Garden, Florida 34787 * (407) 854-5355

LEGEND:
P.O.B.....POINT OF BEGINNING
R/W.....RIGHT-OF-WAY LINE

JOB NO. 20150412

CALCULATED BY: SEJ

DATE: 6-30-2020

DRAWN BY: SEJ

SCALE: 1"=100'

CHECKED BY: MR

FIELD BY: N/A

SHEET 2 OF 2
SEE SHEET 1 OF 2
FOR LEGAL DESCRIPTION



Florida Department of Transportation

RON DESANTIS
GOVERNOR

719 South Woodland Boulevard
DeLand, FL 32720

KEVIN J. THIBAUT, P.E.
SECRETARY

DATE: March 17, 2021

To: Orange County Public Works Department
Attn: Julie Alber
VIA EMAIL: Julie.alber@ocfl.net

Re: Western Parkway; Grow PD

The Florida Department of Transportation has No Objection to Orange County vacating their Right of Way of Western Parkway, near SR 50 in Eastern Orange County.

Thank you,

C. Jack Adkins
District Right of Way Manager
Florida Department of Transportation, District 5



July 10, 2020

Ref: 63612.00

Ms. Anne Dubus
Orange County Utilities
9150 Curry Ford Road
Orlando, FL 32825

Dear Ms. Dubus:

VHB is in the process of requesting that Orange County vacate an existing right of way referred to as Western Parkway, as shown on the copy of the enclosed parcel map from the Orange County Property Appraisers. The portion of existing right of way to be vacated lies within a parcel owned by American Land Investments of Orange County LLC. In order to have this action heard, VHB must provide letters of no objection from utility companies who have jurisdiction in this neighborhood.

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Sincerely,

Vanasse Hangen Brustlin, Inc.

Ann F. Schwartz, P.E.

Senior Project Engineer
aschwartz@vhb.com

225 E. Robinson Street, Suite 300
Landmark Center Two
Orlando, Florida 32801
P 407.839.4006
F 407.839.4008

Engineers | Scientists | Planners | Designers

Ms. Anne Dubus
Ref: 63612.00
July 10, 2020
Page 2



_____ The subject parcel is not within our jurisdiction.

X The subject parcel is within our jurisdiction. We do (circle one) have any facilities within the easement/right of way. We have no objection to the vacation.

Additional Comments: _____

Signature: Anne Dubus

Print Name: Anne Dubus

Title: Project Manager

Date: 7/21/2020

Phone #: 407-254-9712

OCPA Web Map

	Major Roads		State Road		One Way		Block Line		County Boundary		Point of Interest
	Interstate 4		Road Under Construction		County Road		Brick Road		Lot Line		Parks
	Florida Turnpike		Proposed Road		Toll Ramp		Rail Road		GIA		Golf Course
	Toll Road		US Road		Interstate Ramp		Proposed Sunfall		OEA		Lakes and Rivers
											Public School
											Fire Station
											Urgent Care Center



Created: 7/7/2020 15:13

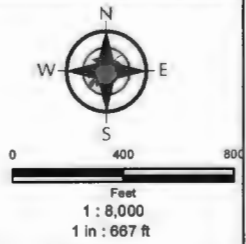
This map is for reference only and is not a survey



PTV # 20-07-021

John Prowell, on behalf of
 American Land Investments of Orange County LLC

	Proposed Vacation		Subject Property
--	-------------------	--	------------------





16408
002

MAYBERRY FILL ROAD

12 PVC FM (7889)

12 PVC FM (7889)

146 STATE PARKWAY

16406
01

16610
01

16608
12

067

146 STATE PARKWAY

068

16402
030

16678

16678



July 8, 2020

Ref: 63612.00

Ms. Diane Foss
TECO People's Gas
600 W. Robinson Street
Orlando, FL 32802

Dear Ms. Foss:

VHB is in the process of requesting that Orange County vacate an existing right of way referred to as Western Parkway, as shown on the copy of the enclosed parcel map from the Orange County Property Appraisers. The portion of existing right of way to be vacated lies within a parcel owned by American Land Investments of Orange County LLC. In order to have this action heard, VHB must provide letters of no objection from utility companies who have jurisdiction in this neighborhood.

Please review your records, complete the form below, and return this letter to me. Please note that Orange County requires an original signed letter from the utility company (not a scanned document). If you have any questions, please contact Ann Schwartz at 407-893-4757.

Sincerely,

Vanasse Hangen Brustlin, Inc.

Ann F. Schwartz, P.E.

Senior Project Engineer
aschwartz@vhb.com

225 E. Robinson Street, Suite 300

Landmark Center Two

Orlando, Florida 32801

P 407.839.4006

F 407.839.4008

Engineers | Scientists | Planners | Designers

Ms. Diane Foss
Ref: 63612.00
July 8, 2020
Page 2



The subject parcel is not within our jurisdiction.

The subject parcel is within our jurisdiction. We do/do not (circle one) have any facilities within the easement/right of way. We have no objection to the vacation.

Additional Comments: _____

Signature:

Shawn Winsor

Print Name:

Shawn Winsor

Title:

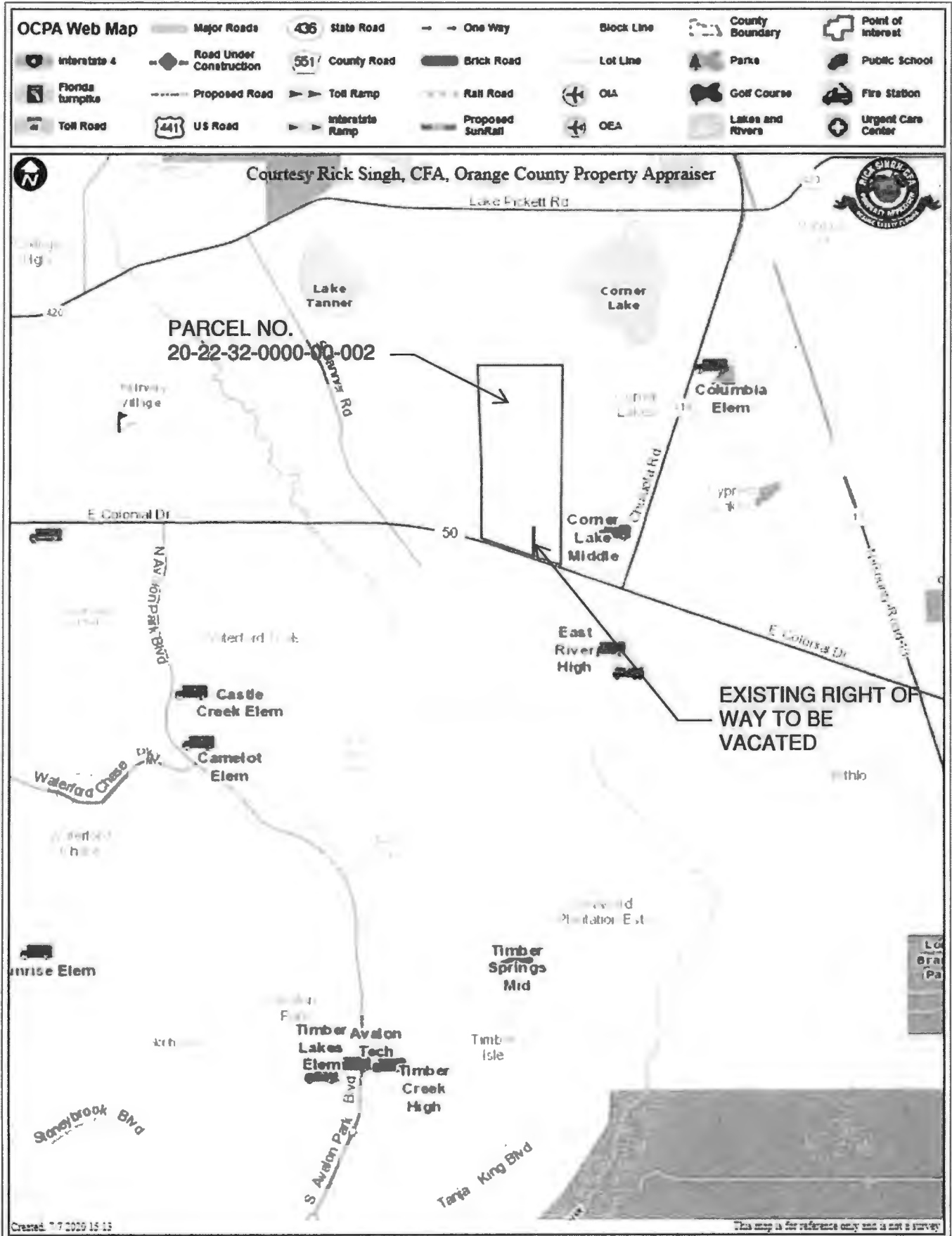
Gas Design Project Manager

Date:

7-31-2020

Phone #:

407-232-5257



LEGAL DESCRIPTION

THIS IS NOT A SURVEY

A STRIP OF LAND LYING IN SECTION 20, TOWNSHIP 22 SOUTH, RANGE 32 EAST, BEING THAT PORTION OF WESTERN PARKWAY, EAST CLOVERDALE ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK K, PAGE 73 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING BOUNDED ON THE SOUTH BY THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 50, ON THE EAST BY THE WEST LINE OF TRACT 1 OF SAID EAST CLOVERDALE, ON THE NORTH BY THE NORTH LINE OF SAID EAST CLOVERDALE AND ON THE WEST BY THE WEST LINE OF WESTERN PARKWAY, DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF SAID TRACT 1; THENCE RUN SOUTH 00°01'35" WEST, ALONG SAID WEST LINE OF TRACT 1, A DISTANCE OF 728.26 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SAID STATE ROAD 50; THENCE RUN NORTH 70°42'46" WEST, ALONG SAID NORTH RIGHT-OF-WAY LINE, 26.48 FEET TO THE WEST RIGHT-OF-WAY LINE OF SAID WESTERN PARKWAY; THENCE RUN NORTH 00°01'35" EAST, ALONG SAID WEST RIGHT-OF-WAY LINE, 719.70 FEET TO THE NORTHWEST CORNER OF SAID EAST CLOVERDALE; THENCE RUN SOUTH 89°34'18" EAST, ALONG THE NORTH LINE OF SAID EAST CLOVERDALE, 25.00 FEET TO THE POINT OF BEGINNING:

THE ABOVE DESCRIBED STRIP OF LAND LIES IN ORANGE COUNTY, FLORIDA AND CONTAINS 18,099 SQUARE FEET MORE OR LESS.

SHEET 1 OF 2
SEE SHEET 2 OF 2
FOR SKETCH OF DESCRIPTION



16 East Plant Street
Winter Garden, Florida 34787 • (407) 654 5355

SURVEYOR'S NOTES:

1. THIS SKETCH IS NOT VALID UNLESS SIGNED AND SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
2. BEARINGS SHOWN HEREON ARE ASSUMED AND BASED ON THE WEST LINE OF TRACT 1, EAST CLOVERDALE, PLAT BOOK K, PAGE 73, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING SOUTH 00°01'35" WEST.
3. THE LEGAL DESCRIPTION WAS PREPARED WITHOUT BENEFIT OF TITLE.
4. THE ADJOINING RECORDING INFORMATION SHOWN HEREON WAS OBTAINED FROM THE ORANGE COUNTY PROPERTY APPRAISER PUBLIC ACCESS SYSTEM.
5. DELINEATION OF THE LANDS SHOWN HEREON ARE AS PER THE CLIENT'S INSTRUCTIONS.
6. THE LEGAL DESCRIPTION SHOWN HEREON WAS PREPARED BY THE SURVEYOR AT THE CLIENTS REQUEST.

SKETCH 1

JOB NO. 20150412
DATE: 6-30-2020
SCALE: 1"=100'
FIELD BY: N/A

CALCULATED BY: SEJ
DRAWN BY: SEJ
CHECKED BY: MR

FOR THE LICENSED BUSINESS # 6723 BY:

JAMES L RICKMAN P.S.M. # 5633

SKETCH OF DESCRIPTION THIS IS NOT A SURVEY

NW. CORNER OF
EAST CLOVERDALE

L2

NOT PLATTED

N. LINE OF EAST CLOVERDALE

P.O.B.
NW CORNER TRACT 1



NOT PLATTED

WEST R/W LINE OF WESTERN PARKWAY

719.70'

N00°01'35"E

WESTERN PARKWAY (PLAT BOOK K, PAGE 73)

728.26'

S00°01'35"W

WEST LINE OF TRACT 1

25.00'

EAST EAST CLOVERDALE
(PLAT BOOK K, PAGE 73)

TRACT 1

TRACT 2

LINE TABLE		
LINE	BEARING	LENGTH
L1	N70°42'46"W	26.48'
L2	S89°34'18"E	25.00'

STATE ROAD 50
(200' R/W)
SECTION 75060
SHEETS 1-16
NOT PLATTED

N R/W LINE

L1

SKETCH 1



**ALLEN
&
COMPANY**

PLANNERS, ENGINEERS & SURVEYORS

16 East Plant Street
Winter Garden, Florida 34787 • (407) 654-5355

LEGEND:
P.O.B.....POINT OF BEGINNING
R/W.....RIGHT-OF-WAY LINE

JOB NO. 20150412
DATE: 6-30-2020
SCALE: 1"=100'
FIELD BY: N/A

CALCULATED BY: SEJ
DRAWN BY: SEJ
CHECKED BY: MR

SHEET 2 OF 2
SEE SHEET 1 OF 2
FOR LEGAL DESCRIPTION

STAFF COMMENTS



PUBLIC WORKS DEPARTMENT - DEVELOPMENT ENGINEERING DIVISION
DIANA M. ALMODOVAR, P.E., *Manager*
4200 South John Young Parkway - Orlando, Florida 32839-9205
407-836-7974 - Fax 407-836-8003
e-mail: diana.almodovar@ocfl.net

March 18, 2021

Dear Mr. John Prowell

The following divisions have Approved the Petition to Vacate and have provided the following comments below.

Engineering ROW Review

FDOT provided a letter of no objection. Transportation Planning has no objection to the request.

Please contact Julie McDevitt at (407) 836-7918 with any questions.

EPD Review

Vacated area contains wetlands as depicted in CAD-16-02-015. Approval of PTV does not constitute approval of potential future wetland impacts.

Please contact Jason Root at (407) 836-1518 with any questions.

Real Estate Management Review

REM has no issues with vacating that portion of Western Parkway as requested in PTV-20-07-021.

Please contact Jeffrey Sponenburg at with any questions.

Roads & Drainage Review

Roads & Drainage has no objection to the vacation of that portion of Western Py north of SR 50.

Please contact George Shupp at with any questions.

Transportation Planning Review

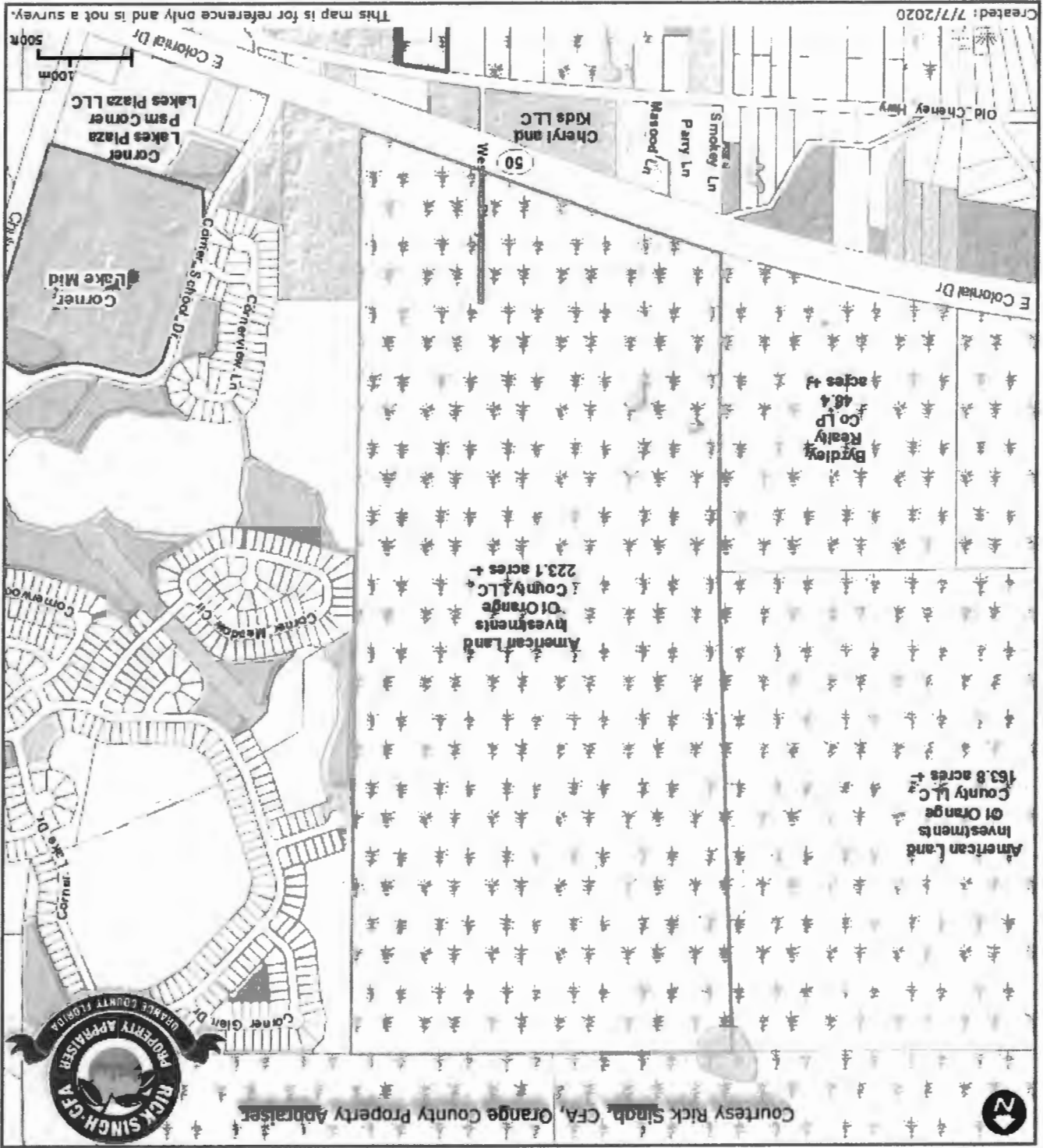
A letter of no objection has been submitted and is on file.

Please contact Tammi Chami at (407) 836-5943 with any questions.

**Parcel Report for
20-22-32-0000-00-002**

OCPA Web Map

	Toll Road		Proposed Sunrail		Proposed Road		Road Under Construction
	Interstate 4		Rail Road		Gated Roads		Florida Turnpike
	Public Roads		Brick Road		Major Roads		Proposed Road
	Block Line		Proposed Road		Commercial Institutional		Commercial Institutional
	Block Line		Governmental Institutional		Governmental Institutional		Governmental Institutional
	Block Line		Municipal Institutional		Municipal Institutional		Municipal Institutional
	Block Line		Vacant Land		Vacant Land		Vacant Land
	Block Line		Agriculture		Agriculture		Agriculture
	Block Line		Residential		Residential		Residential
	Block Line		Commercial		Commercial		Commercial
	Block Line		Industrial		Industrial		Industrial
	Block Line		Municipal		Municipal		Municipal
	Block Line		Governmental		Governmental		Governmental
	Block Line		Waste Land		Waste Land		Waste Land
	Block Line		Hydro		Hydro		Hydro
	Block Line		Lakes and Rivers		Lakes and Rivers		Lakes and Rivers
	Block Line		Golf Course		Golf Course		Golf Course
	Block Line		Building		Building		Building
	Block Line		Hospital		Hospital		Hospital



Courtesy Rick Singh, CFA, Orange County Property Appraiser



Property Record - 20-22-32-0000-00-002

Orange County Property Appraiser • <http://www.ocpafl.org>

Property Summary as of 07/07/2020

Property Name

16499 E Colonial Dr

Names

American Land Investments Of Orange County LLC

Municipality

ORG - Un-Incorporated

Property Use

6100 - Ag Grazing Im Pastur

Mailing Address

7575 Dr Phillips Blvd Ste 265 Orlando, FL 32819

Physical Address

16499 E Colonial Dr Orlando, FL 32820



QR Code For Mobile Phone



Property Features

Property Description

NW1/4 N OF H/W (LESS W1/2 THEREOF) & W 695.13 FT OF NW1/4 OF NE1/4 & W 695.13 FT OF N 165 FT OF SW1/4 OF NE1/4 OF SEC 20-22-32 & IN SEC 17-22-32 BEG SE COR OF SW1/4 RUN W 1331.38 FT N 2656.62 FT E 2122.36 FT S 2655.07 FT W 695.13 FT TO POB & EAST CLOVERDALE K/73 TRACTS 1 2 & 3 (LESS HIWAY)

Total Land Area

9,717,945 sqft (+/-)

| 223.09 acres (+/-)

GIS Calculated

Land

Land Use Code	Zoning	Land Units	Unit Price	Land Value	Class	Unit Price	Class Value
6100 - Ag Grazing Im Pastur	A-2	114.46 ACRE(S)	working...	working...	working...	working...	working...
6200 - Ag Grazing Semi-Imp	A-2	14.46 ACRE(S)	working...	working...	working...	working...	working...
6999 - Ag Waste	A-2	92.89 ACRE(S)	working...	working...	working...	working...	working...
9500 - Pvt Submerged	A-2	1.28 ACRE(S)	working...	working...	working...	working...	working...

Buildings**Extra Features**

Description	Date Built	Units	Unit Price	XFOB Value
There are no extra features associated with this parcel				

Services for Location

Utilities/Services

Electric	Duke Energy
Water	Orange County
Recycling (Wednesday)	Orange County
Trash (Wednesday)	Orange County
Yard Waste (Thursday)	Orange County

Elected Officials

State Representative	Carlos Guillermo Smith
School Board Representative	Angie Gallo
State Senate	Linda Stewart
US Representative	Stephanie Murphy
County Commissioner	Emily Bonilla
Orange County Property Appraiser	Rick Singh

For Staff Use Only:

Initially submitted on _____

Updated On _____

Project Name (as filed) _____

Case or Bid No. _____

ORANGE COUNTY SPECIFIC PROJECT EXPENDITURE REPORT

This lobbying expenditure form shall be completed in full and filed with all application submittals. This form shall remain cumulative and shall be filed with the department processing your application. Forms signed by a principal's authorized agent shall include an executed Agent Authorization Form.

This is the initial Form: _____

This is a Subsequent Form: _____

For
staff
use
only

Part I

Please complete all of the following:

Name and Address of Principal (legal name of entity or owner per Orange County tax rolls): _____

American Land Investments of Orange County LLC / Dwight Saathoff, President

7575 Dr. Phillips Blvd., Suite 265, Orlando, FL 32819

Name and Address of Principal's Authorized Agent, if applicable: _____

VHB - 225 E. Robinson Street, Suite 300 , Orlando, FL 32801

List the name and address of all lobbyists, consultants, contractors, subcontractors, individuals or business entities who will assist with obtaining approval for this project. (Additional forms may be used as necessary.)

1. Name and address of individual or business entity: N / A
Are they registered Lobbyist? Yes ___ or No ___

2. Name and address of individual or business entity: _____
Are they registered Lobbyist? Yes ___ or No ___

3. Name and address of individual or business entity: _____
Are they registered Lobbyist? Yes ___ or No ___

4. Name and address of individual or business entity: _____
Are they registered Lobbyist? Yes ___ or No ___

5. Name and address of individual or business entity: _____
Are they registered Lobbyist? Yes ___ or No ___

6. Name and address of individual or business entity: _____
Are they registered Lobbyist? Yes ___ or No ___

7. Name and address of individual or business entity: _____
Are they registered Lobbyist? Yes ___ or No ___

8. Name and address of individual or business entity: _____
Are they registered Lobbyist? Yes ___ or No ___

For Staff Use Only:

Initially submitted on _____

Updated On _____

Project Name (as filed) _____

Case or Bid No. _____

**Part II
 Expenditures:**

For this report, an "expenditure" means money or anything of value given by the principal and/or his/her lobbyist for the purpose of lobbying, as defined in section 2-351, Orange County Code. This may include public relations expenditures including, but not limited to, petitions, fliers, purchase of media time, cost of print and distribution of publications. However, the term "expenditure" **does not** include:

- Contributions or expenditures reported pursuant to chapter 106, Florida Statutes;
- Federal election law, campaign-related personal services provided without compensation by individuals volunteering their time;
- Any other contribution or expenditure made by or to a political party;
- Any other contribution or expenditure made by an organization that is exempt from taxation under 26 U.S.C. s. 527 or s. 501(c)(4), in accordance with s.112.3215, Florida Statutes; and/or
- Professional fees paid to registered lobbyists associated with the project or item.

The following is a complete list of all lobbying expenditures and activities (including those of lobbyists, contractors, consultants, etc.) incurred by the principal or his/her authorized agent and expended in connection with the above-referenced project or issue. **You need not include de minimus costs (under \$50) for producing or reproducing graphics, aerial photographs, photocopies, surveys, studies or other documents related to this project.**

Date of Expenditure	Name of Party Incurring Expenditure	Description of Activity	Amount Paid
TOTAL EXPENDED THIS REPORT			\$ 0.00

For Staff Use Only:

Initially submitted on _____

Updated On _____

Project Name (as filed) _____

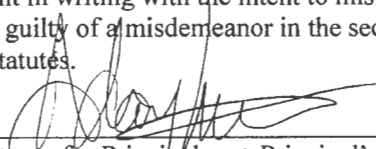
Case or Bid No. _____

Part III

ORIGINAL SIGNATURE AND NOTARIZATION REQUIRED

I hereby certify that information provided in this specific project expenditure report is true and correct based on my knowledge and belief. I acknowledge and agree to comply with the requirement of section 2-354, of the Orange County code, to amend this specific project expenditure report for any additional expenditure(s) incurred relating to this project prior to the scheduled Board of County Commissioner meeting. I further acknowledge and agree that failure to comply with these requirements to file the specific expenditure report and all associated amendments may result in the delay of approval by the Board of County Commissioners for my project or item, any associated costs for which I shall be held responsible. In accordance with s. 837.06, Florida Statutes, I understand and acknowledge that whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor in the second degree, punishable as provided in s. 775.082 or s. 775.083, Florida Statutes.

Date: 4-2-2021



Signature of Principal or Principal's Authorized Agent

(check appropriate box)

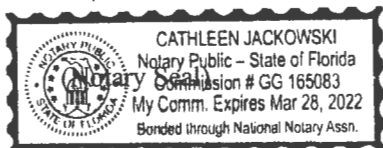
PRINT NAME AND TITLE: ADAM SMITH - VHB

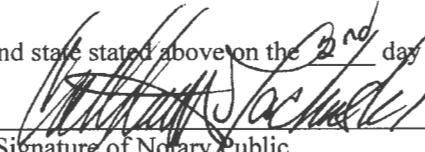
STATE OF FLORIDA :

COUNTY OF Orange :

I certify that the foregoing instrument was acknowledged before me this 2nd day of April, 2021 by ADAM SMITH He/she is personally known to me or has produced _____ as identification and did/did not take an oath.

Witness my hand and official seal in the county and state stated above on the 2nd day of April, in the year 2021.




Signature of Notary Public
Notary Public for the State of Florida
My Commission Expires: 3/28/2022

For Staff Use Only:
Initially submitted on _____
Updated on _____
Project Name (as filed) _____
Case Number _____

RELATIONSHIP DISCLOSURE FORM
FOR USE WITH DEVELOPMENT RELATED ITEMS, EXCEPT THOSE WHERE THE
COUNTY IS THE PRINCIPAL OR PRIMARY APPLICANT

This relationship disclosure form must be submitted to the Orange County department or division processing your application at the time of filing. In the event any information provided on this form should change, the Owner, Contract Purchaser, or Authorized Agent(s) must file an amended form on or before the date the item is considered by the appropriate board or body.

For
staff
use
only

Part I

INFORMATION ON OWNER OF RECORD PER ORANGE COUNTY TAX ROLLS:

Name: American Land Investments of Orange County LLC
Business Address (Street/P.O. Box, City and Zip Code): 7575 Dr. Phillips Blvd., Suite 265
Orlando, FL 32819
Business Phone (407) 730-9916
Facsimile () _____

INFORMATION ON CONTRACT PURCHASER, IF APPLICABLE:

Name: _____
Business Address (Street/P.O. Box, City and Zip Code): _____
Business Phone () _____
Facsimile () _____

INFORMATION ON AUTHORIZED AGENT, IF APPLICABLE:
(Agent Authorization Form also required to be attached)

Name: _____
Business Address (Street/P.O. Box, City and Zip Code): _____
Business Phone () _____
Facsimile () _____

For Staff Use Only:
Initially submitted on _____
Updated on _____
Project Name (as filed) _____
Case Number _____

Part II

IS THE OWNER, CONTRACT PURCHASER, OR AUTHORIZED AGENT A RELATIVE OF THE MAYOR OR ANY MEMBER OF THE BCC?

___ YES NO

IS THE MAYOR OR ANY MEMBER OF THE BCC AN EMPLOYEE OF THE OWNER, CONTRACT PURCHASER, OR AUTHORIZED AGENT?

___ YES NO

IS ANY PERSON WITH A DIRECT BENEFICIAL INTEREST IN THE OUTCOME OF THIS MATTER A BUSINESS ASSOCIATE OF THE MAYOR OR ANY MEMBER OF THE BCC? (When responding to this question please consider all consultants, attorneys, contractors/subcontractors and any other persons who may have been retained by the Owner, Contract Purchaser, or Authorized Agent to assist with obtaining approval of this item.)

___ YES NO

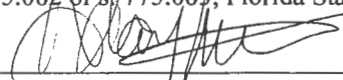
If you responded "YES" to any of the above questions, please state with whom and explain the relationship:

(Use additional sheets of paper if necessary)

For Staff Use Only:
Initially submitted on _____
Updated on _____
Project Name (as filed) _____
Case Number _____

Part III
ORIGINAL SIGNATURE AND NOTARIZATION REQUIRED

I hereby certify that information provided in this relationship disclosure form is true and correct based on my knowledge and belief. If any of this information changes, I further acknowledge and agree to amend this relationship disclosure form prior to any meeting at which the above-referenced project is scheduled to be heard. In accordance with s. 837.06, Florida Statutes, I understand and acknowledge that whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor in the second degree, punishable as provided in s. 775.082 or s. 775.083, Florida Statutes.



Signature of Owner, Contract Purchaser
or Authorized Agent

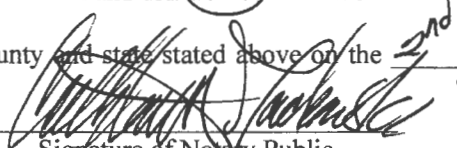
Date: 4-2-2021

Print Name and Title of Person completing this form: ADAM SMITH (VHB)

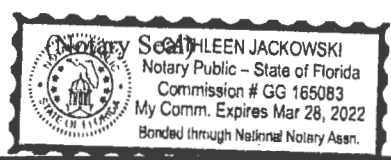
STATE OF FLORIDA :
COUNTY OF Orange :

I certify that the foregoing instrument was acknowledged before me this 2nd day of April, 2021 by ADAM SMITH. He is personally known to me or has produced _____ as identification and did not take an oath.

Witness my hand and official seal in the county and state stated above on the 2nd day of April, in the year 2021.



Signature of Notary Public
Notary Public for the State of Florida
My Commission Expires:
3/28/2022





AGENT AUTHORIZATION FORM

FOR PROJECTS LOCATED IN ORANGE COUNTY, FLORIDA

American Land Investments of Orange County LLC

I/WE, (PRINT PROPERTY OWNER NAME) _____, AS THE OWNER(S) OF THE REAL PROPERTY DESCRIBED AS FOLLOWS, The Grow, DO HEREBY AUTHORIZE TO ACT AS MY/OUR AGENT (PRINT AGENT'S NAME), VHB, TO EXECUTE ANY PETITIONS OR OTHER DOCUMENTS NECESSARY TO AFFECT THE APPLICATION APPROVAL REQUESTED AND MORE SPECIFICALLY DESCRIBED AS FOLLOWS, Petition to Vacate Application, AND TO APPEAR ON MY/OUR BEHALF BEFORE ANY ADMINISTRATIVE OR LEGISLATIVE BODY IN THE COUNTY CONSIDERING THIS APPLICATION AND TO ACT IN ALL RESPECTS AS OUR AGENT IN MATTERS PERTAINING TO THE APPLICATION.

Date: 7.7.20

[Signature]
Signature of Property Owner

Dwight Saathoff
Print Name Property Owner

Date: _____

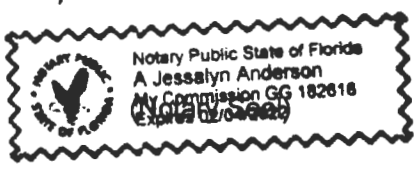
Signature of Property Owner

Print Name Property Owner

STATE OF FLORIDA
COUNTY OF ORANGE

I certify that on 7/7/2020, before me, A. JESSALYN ANDERSON, an officer duly authorized by the State of Florida and in the county mentioned above, to take acknowledgements, personally appeared DWIGHT SAATHOFF, to me known to be the person described in this instrument or to have produced _____, as evidence, and who has acknowledged before me that he or she executed the instrument and did / did not take an oath.

Witness my hand and official seal in the county and state stated above on the 7TH day of JULY, in the year 2020.



[Signature]
Signature of Notary Public
Notary Public for the State of Florida

My Commission Expires: 2/4/2022

Legal Description(s) or Parcel Identification Number(s) are required:
PARCEL ID #: <u>20-22-32-0000-00-002</u>
LEGAL DESCRIPTION:

American Land Investments
of Orange County, LLC
7575 Dr Phillips Blvd., 265
Orlando, FL 32819

SunTrust
63-215/631

1298

3/18/2021

PAY TO THE
ORDER OF

Orange County BCC

\$ **1,003.00

One Thousand Three and 00/100

DOLLARS

Orange County BCC

MEMO

Petition to Vacate Application - The Grow


AUTHORIZED SIGNATURE

O.C. PUBLIC WORKS DEPARTMENT

4200 S JOHN YOUNG PKWY
ORLANDO, FL 32839
4078367708

<https://www.orangecountyfl.net/>

Cashier: John
24-Mar-2021 3:20:57P

Invoice PW: 68
1 PTV 2700-4180 \$1,003.00

Total \$1,003.00

CHECK SALE \$1,003.00

Order R4092KPW96Y4C
Payment RM6DSRDF01D0E

O.C. PUBLIC WORKS DEPARTMENT Privacy
Policy

<https://clover.com/privacy/m/jrnwecqm0d1>

Clover Privacy Policy
<https://clover.com/privacy>