

Board of County Commissioners

**Shoreline Alteration/Dredge and Fill Permit
Application**

SADF-23-03-005

Applicant: Mark and Lisa Miller

September 12, 2023



Location Map

551 Ridgewood Drive, Windermere, FL



Parcel ID No. 17-23-28-9336-02-590



Aerial Photo

551 Ridgewood Drive, Windermere, FL



Parcel ID No. 17-23-28-9336-02-590



Existing Conditions





Site Plan

All of Lot 259 and that part of Lot E-1 lying Northwesterly of a straight line running from a point on the Northeast street line of Ridgewood Drive situated 51.91 feet Northwesterly from Southeast corner of said Lot E-1 to the waters of Lake Down on an angle of 63 degrees and 57 minutes off of said street line in the Northwest quadrant and making an angle of 116 degrees and 3 minutes off of said street on the Southeast side of according to, plat thereof recorded said line; of TOWN OF WINDERMERE, according to the plat thereof recorded in Plat Book "G", pages 36 to 39 inclusive. Public Records of Orange County, Florida (being the same property conveyed by that certain warranty deed recorded on December 12, 1956, in Official Record Book 175, page 531, Public Records of Orange County, Florida).

By performing a search with the local governing municipality or www.fema.gov, the property appears to be located in zone X, AE. This Property was found in Orange County, community number 120179, dated 9/25/2009.

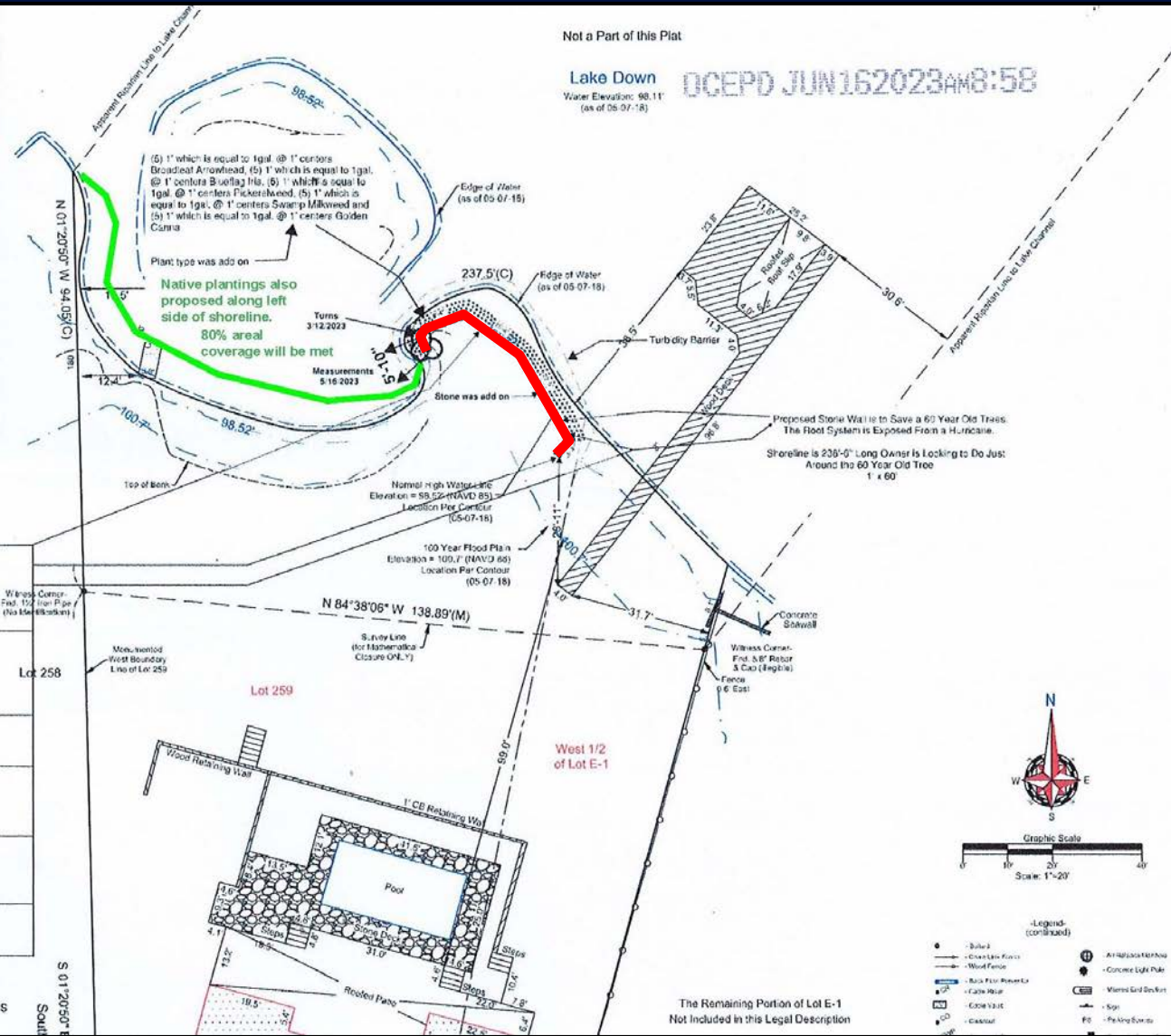
CERTIFIED TO:
Edmondson Homes

1. Wood wall will abate and diffuse wave energy. See the following below:

- a. The Stone will be placed along the wall it will cover half the wall.
- b. Stone pitch 2:1.
- c. Stone size 12".

2. Plants will be put in front of the stone which includes the following:

- a. Plant locations on the survey and wall cross section.
- b. Plant area is in front of stones. Plant type, size, location of one another, and number of each plant is listed on the survey and wall cross section.




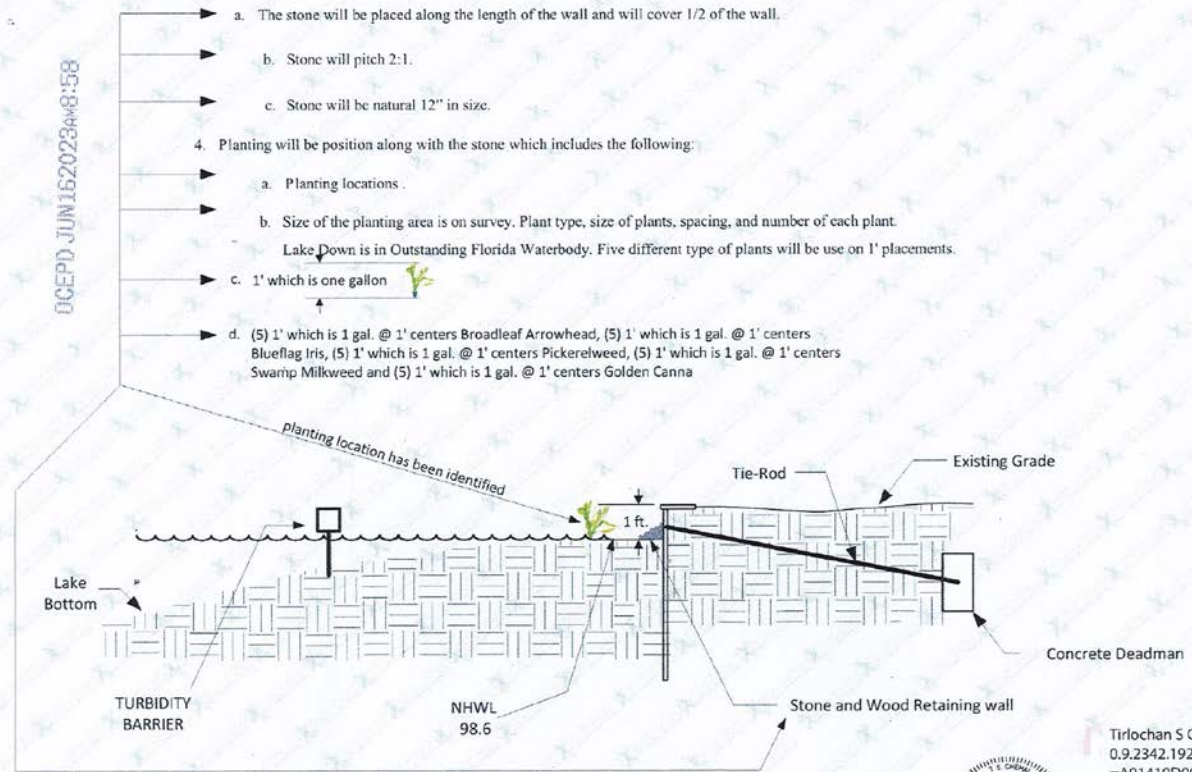
Not a Part of this Plat
Lake Down
Water Elevation: 98.11'
(as of 05-07-18)
DCEPD JUN162023AM8:58

The Remaining Portion of Lot E-1
Not Included in this Legal Description



Site Plan – Cross Section

3. Stone or wood wall will diffuse wave energy.
The stone will conform to the following:
- The stone will be placed along the length of the wall and will cover 1/2 of the wall.
 - Stone will pitch 2:1.
 - Stone will be natural 12" in size.
4. Planting will be position along with the stone which includes the following:
- Planting locations .
 - Size of the planting area is on survey. Plant type, size of plants, spacing, and number of each plant.
Lake Down is in Outstanding Florida Waterbody. Five different type of plants will be use on 1' placements.
 - 1' which is one gallon 
 - (5) 1' which is 1 gal. @ 1' centers Broadleaf Arrowhead, (5) 1' which is 1 gal. @ 1' centers Blueflag Iris, (5) 1' which is 1 gal. @ 1' centers Pickerelweed, (5) 1' which is 1 gal. @ 1' centers Swarip Milkweed and (5) 1' which is 1 gal. @ 1' centers Golden Canna



**This is Not a Construction Plan
This is The Items That Would be labeled
For Impacting the Shoreline For a Wood & Stone Retaining Wall
For Environmental Review
Wall Cross Section 1' X 60'**



This item has been electronically signed and sealed by T.S. Chehal, P.E., using a digital signature. Printed copies of this document are not considered legal documents and the signature must be verified on any electronic copy.

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o=T.S. Chehal P.E., c=US
I attest to the accuracy
and integrity of this
document
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NOTES
Revisions #1
Revisions #2
Revisions #3
Revisions #4
Revisions #5
Revisions #6
Revisions #7
Revisions #8
Not Construction Drawings

Mark & Lisa Miller
551 Ridgewood Dr.
Wall Cross Section

DATE: 6/1/2023
SCALE: 1/8"= 1'0"
DRAWN BY SAT
SHEET
S 1



Enforcement

- **April 13, 2021:** Based on an anonymous complaint, EPD staff visited the property and observed a large portion of the shoreline had been cleared without a permit.
- **May 12, 2021:** EPD initiated formal enforcement action (Incident No. 21-588893) and issued a Notice of Violation (NOV) to the applicants.
- **April 22, 2022:** During a routine compliance inspection for the applicant's boat dock permit (BD-18-06-072), EPD documented that the shoreline was still being maintained without proper authorization and noted that a wooden seawall had also been constructed without authorization.
- **September 16, 2022:** EPD issued an updated NOV requiring removal of the seawall and submittal of a planting plan to restore the cleared shoreline.
- **November 1, 2022:** EPD staff conducted a follow up inspection and determined that the shoreline had begun to naturally revegetate, and that the unauthorized seawall had been removed.
- **November 14, 2022:** Applicants submitted a \$3500.00 administrative penalty.
- **November 21, 2022:** EPD issued a No Further Action letter and closed the enforcement case.



Considerations

- **Project reviewed in accordance with Chapter 33, Article IV and the review criteria and conditions of issuance therein.**
- **Notification of the public hearing was sent to property owners within 500 feet of the project site. EPD has received no objections to the request.**



Finding

- Pursuant to Orange County Code, Chapter 33, Article IV, EPD staff has evaluated the proposed SADF permit application and required documents and has made a finding that the request is consistent with Section 33-129.



Action Requested

- **Acceptance of the findings and recommendation of the Environmental Protection Division staff and approval of Shoreline Alteration/Dredge and Fill Permit SADF-23-03-005 for Mark and Lisa Miller, subject to the conditions listed in the staff report.**
District 1