Received on November 1, 2022 Deadline: December 20, 2022 Publish: December 25, 2022



Interoffice Memorandum

October 31, 2022

To: Katie Smith, Manager

Comptroller Clerk's Office

Through: Cheryl Gillespie, Agenda Development Supervisor

Agenda Development

From: David D. Jones, P.E., CEP, Manager

Environmental Protection Division

(407) 836-1406

Staff Person: Elizabeth R. Johnson, CEP, Assistant Manager

Environmental Protection Division

(407) 836-1511

Subject: Request for Public Hearing on December 13, 2022, at 2:00 p.m., for a

Shoreline Alteration/Dredge and Fill Permit Application (SADF-22-03-008) to authorize maintenance dredging of an existing canal within the Hidden Oaks Condominiums on the properties located at Riverview Way, Cedar Creek Court, and Cedar Springs Place, Winter Park, FL 32792 (Parcel ID Nos. 11-22-30-3582-00-001, 11-22-30-3583-00-001, and 11-22-

30-3594-00-001, District 5.

Applicant: Hidden Oaks Condominium Association, Inc.

Type of Hearing: Shoreline Alteration/Dredge and Fill Permit Application

Hearing required by

Florida Statute # or Code: Chapter 15, Article VI, Pumping and Dredging Control

Advertising requirements: Publish once in a newspaper of general circulation in Orange County

at least (7) seven days prior to public hearing.

Advertising timeframes: At least (7) seven days prior to public hearing.

Abutters to be notified: The applicants and the property owners within 500 feet of the project

area will be notified at least (7) seven days prior to public hearing

by the Environmental Protection Division (EPD).

Page 2

October 31, 2022

Request for Public Hearing – Shoreline Alteration/Dredge and Fill Permit Application for Hidden Oaks Condominium Association, Inc. (SADF-22-03-008)

Estimated time required

For public hearing: 2 minutes

Lake Advisory Board

to be notified: N/A

Municipality or other Public Agency to be

notified: St. Johns River Water Management District, Marc VonCanal,

Mvoncana@sjrwmd.com

Hearing Controversial: No

District #: 5

Materials being submitted as backup for public hearing request:

- 1. Location Map
- 2. Site Plan

Special Instructions to Clerk:

1. Once the Board of County Commissioners makes a decision on the Shoreline Alteration/Dredge and Fill Permit Application, please submit the decision letter to Liz Johnson with EPD. EPD will issue the decision to the applicant.

Advertising Language:

1. Applicant, Hidden Oaks Condominium Association, Inc., is requesting a Shoreline Alteration/Dredge and Fill Permit (SADF-22-03-008) to authorize maintenance dredging of an existing canal on the properties located at Riverview Way, Cedar Creek Court, and Cedar Springs Place, Winter Park, FL 32792, pursuant to Chapter 15, Article VI, Pumping and Dredging Control. Parcel ID Nos. 11-22-30-3582-00-001, 11-22-30-3583-00-001, and 11-22-30-3594-00-001, District 5 (property legal description on file at EPD).

JR/TMH/ERJ/DJ: jk

Attachments

Erosion and Sedimentation Control Plan for Ditch

Hidden Oaks Condominium Association, Inc.





SHEET DESCRIPTION GENERAL NOTES

- 6 SURVEY CONTROL PLAN
- EROSION CONTROL ELEMENT PLAN
- 20 DETAIL STEP POOL
- 21-25 MANUFACTURER'S SPECIFICATIONS

PREPARED FOR

Hidden Oaks Condo Association, Inc 3303 Hidden Timber Lane, Winter Park, FL 32792

PREPARED BY



Venice, Ft 34293 Office 941 303-5238 Fax 941-218-6113

DESIGNED BY	MR	DATE	06-01-2020
DRAWN BY	MR	DATE	0/-31-2020
CHECKEDBY	AVDB	DATE	08-04-2020
APPROVED BY	PM:	DATE	08-06-2020
PROJECT NO. 5	019,137		



PROJECT NOTES:

GOVERNING STANDARDS AND SPECIFICATIONS: FLORIDA DEPARTMENT OF TRANSPORTATION, STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS AMENDED BY CONSTRUCTION DOCUMENTS.

- 2. PLANS WERE PREPARED ACCORDING TO INFORMATION COLLECTING ON THE FIELD WITH SURVEYING INSTRUMENTS, HISTORICAL DATAFROM PUBLICLY AVAILABLE SOURCES AND
- DATAFROM PUBLICLY AVAILABLE SOURCES AND OHANGE COUNTY OIS DATA PARKETS. LOTS ROADWAYS, ETC.

 THE SCALES OF THE PLANS MAY HAVE CHANGES DUE TO REPRODUCTION ESPECIALLY IF THE PAPUR SIZE WILL BE CHANGED. THESE PLAN SHEETS SHOULD BE PRINTED OR PLOTTED ON
- SHEETS SHOULD BE PRINTED OR PLOTTED ON LYXLY PAPERS SYSTEMS HEREON FOR THE COORDINATE SYSTEM ARE BASED ON NORTH AMERICA DATUM OF 1983 (NAD 83) FLORIDA STATES PLAYER, WEST ZONE AND FOR THE VERTICAL SYSTEM ARE BASED ON NORTH AMERICA VERTICAL DATUM 1988 (NAVD 88), AND THE UNITS ARE BASED ON US COOL.
- OFFICIAL BENCHMARKS FOR THIS PROJECT COULD NOT BE FOUND AROUND OR NEAR THE JOB SITE OR AREA IN STUDY.
- JOB SITE OR AREA IN STUDY.

 THE BEARINGS VALUES SHOWN HEREON ARE
 BASED ON GPS/RTK OBSERVATIONS AND RTK
 CORRECTIONS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK
- THE PROJECT SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF THE THE MAY BE INSTRUMENTS OF RECORD AND NOT OF RECORD, AFFECTING THE SUBJECT
- PARCEL THAT ARE NOT SHOWN ON THIS SURVEY.
 CONTRACTOR SHALL CONTACT SUNSHINE STATE
 ONE-CALL AT 1-(800)-432-4770 AT LEAST 48 ONE-CALL AT 1-9009-93/47/0 AT LEAST 48
 HOURS PRIOR TO PERFORMING ANY DIGGING TO
 VERIFY THE EXACT LOCATION OF EXISTING
 UTILITIES. A CONTRACTOR'S REPRESENTATIVE
 MUST BE PRESENT WHEN UTILITY COMPANIES
 LOCATE THEIR FACILITIES.



REVISIONS	DATE	BY
REDESIGN - ADDITIONS ADDED - QUANTITES	7/12/2021	MR
ABELS - TURBIDITY BARRIER MOVED	9/07/2021	MR
LABELS + TURBIDITY BARRIER MOVED REVISED	9/20/2022	MR
ADDED LITTORAL PLANTINGS TO TYPICAL SECTION	9/20/2022	MR

BEGIN PROJECT END PROJECT STA. 0+62.97 STA, 05+60,77 **EXISTING DITCH**

LOCATION MAP

SECTION 11 TOWNSHIP 22S RANGE 30E



7302 Cedar Creek Ct, Winter Park, FL 32792

28.587997, -81.288156 28°35'16.8"N, 81°17'17.4"W

JULY 31, 2020

CERTIFICATION TO PLANS

Pieter Lombard

Digitally signed by Pieter Lombard Date: 2022.10.17 12:41:58 -04'00'

THIS IS TO CERTIFY THAT THE CONSTRUCTION PLANS AND SPECIFICATIONS AS CONTAINED HEREIN WERE PREPARED AND DESIGNED BY LANDSHORE ENTERPRISES.

LLC. THESE CONSTRUCTION DRAWINGS WERE PREPARED EITHER DIRECTLY, OR UNDER THE SUPERVISION AND DIRECTION OF THE RESPECTIVE UNDERSIGNED WHOSE LICENSED AS A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA.

PIETER M. LOMBARD ENGINEER REG. NO. DATE 10-17-2022

GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF GOVERNMENT ENTITIES WHICH WILL APPLY, AND ALL OTHER LOCAL AND NATIONAL CODES WHERE APPLICABLE.
- 2. ALL CONSTRUCTION SHALL BE PERFORMED IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL BE STRICTLY OBSERVED.
- 3. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING CONSTRUCTION.
- UPON RECEIPT OF NOTICE OF AWARD AND AFTER OBTAINING AN ENGINEERING CONSTRUCTION PERMIT FROM APPLICABLE AGENCIES, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE CLIENT, THE CONTRACTOR, AND THE ENGINEER OF RECORD.
- CONTRACTOR SHALL CONTACT STATE 811, AT LEAST 48 HOURS PRIOR TO PERFORMING ANY DIGGING TO VERIFY THE EXACT LOCATION OF EXISTING UTILITIES. A CONTRACTOR'S REPRESENTATIVE MUST BE PRESENT WHEN UTILITY COMPANIES LOCATE THEIR FACILITIES.
- THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD AND UNDERGROUND UTILITIES.
- EXISTING UNDERGROUND UTILITIES, IF SHOWN ON THE DRAWINGS, HAVE BEEN SHOWN BASED UPON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE REQUIRED TO MARK AND CLEARLY DELINEATE LOCATIONS OF EXISTING UTILITIES WITHIN AREAS OF WORK PRIOR TO EXCAVATION TO AVOID DAMAGE. THE CONTRACTOR SHALL MAKE ALL REASONABLE EFFORTS TO LOCATE, IDENTIFY AND MARK EXISTING UTILITIES BY FIELD VERIFICATION, COORDINATION WITH UTILITY COMPANIES AND ELECTRONIC OR OTHER SUCH DETECTION TECHNOLOGY AND MEANS AND SHALL BEAR ALL COSTS FOR THIS WORK
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS AND COSTS TO CORRECT DAMAGES RESULTING FROM FAILURE TO TAKE ALL NECESSARY PRECAUTIONS INCLUDING LOCATING, MARKING AND CAREFUL EXCAVATION. (CONTRACTOR SHALL AVOID DAMAGING EXISTING IRRIGATION SYSTEMS. IN CASE OF DAMAGE, THE CONTRACTOR SHALL REPLACE IRRIGATION SYSTEMS TO MATCH EXISTING CONDITIONS AND LOCATION).
- IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER.
- 10. CONTRACTOR SHALL PROVIDE HIS OWN LINE AND GRADE FROM HORIZONTAL AND VERTICAL CONTROL.
- 11. FOR EACH PROJECT AREA, VERTICAL CONTROL IS BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NAVD 88).
- 12. ANY N.A. V.D. BENCH MARK MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED AND PROPERLY REFERENCED BY A REGISTERED-PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE MINIMUM TECHNICAL STANDARDS OF THE STATE BOARD OF PROFESSIONAL LAND SURVEYORS PRIOR TO BEGINNING WORK AT THE SITE
- 13. ALL STATIONS AND OFFSETS REFER TO [BASELINE] OF CONSTRUCTION, UNLESS OTHERWISE STATED.
- 14. CONTRACTOR SHALL NOT SCALE DIMENSIONS FROM PLANS FOR CONSTRUCTION PURPOSES.
- 15. THE CONTRACTOR IS ALERTED TO THE PRESENCE OF UNDERGROUND WIRES AND POLES IN THE PROJECT AREA. THE METHOD OF CONSTRUCTION IN THESES LOCATIONS MUST COMPLY WITH ALL OSHA SAFETY STANDARDS. THE CONTRACTOR SHALL INSPECT THESE SITES AND BE RESPONSIBLE FOR DETERMINING WHAT METHOD OF PREPARATION AND CONSTRUCTION WILL BE USED TO COMPLY WITH THESE REQUIREMENTS.
- 16. THE CONTRACTOR SHALL NOTIFY THE CLIENT AT LEAST 24 HOURS PRIOR TO BEGINNING OF WORK
- 17. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, GRAVITY SEWER, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
- 18. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED BY THE CLIENT ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY THE WORK, EQUIPMENT, EMPLOYEES OR SUBCONTRACTORS TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS

- 19. CONTRACTOR SHALL MAINTAIN EXISTING TRAFFIC FLOW PATTERNS THROUGHOUT ALL WORK OPERATIONS. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY, STATE AND LOCAL GOVERNMENT CODES.
- 20. ALL EXCAVATIONS SHALL COMPLY WITH OSHA'S EXCAVATION SAFETY STANDARDS AND TRENCH SAFETY CODES, CONTRACTOR SHALL FURNISH THE OWNER WITH WRITTEN ASSURANCE THAT HE WILL COMPLY WITH THESE REGULATIONS.
- 21. THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH
- 22. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING TREES, STRUCTURES AND UTILITIES WHICH MAY NOT BE SHOWN ON PLANS. ANY STRUCTURE, PAVEMENT, TREES OR OTHER EXISTING IMPROVEMENT NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARY DAMAGED, EXPOSED OR IN ANY WAY DISTURBED BY CONSTRUCTION PERFORMED UNDER THIS CONTRACT, SHALL BE REPAIRED, PATCHED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- 23. CONTRACTOR TO RELOCATE TREES AS DIRECTED BY THE CLIENT. CONTRACTOR SHALL AVOID DAMAGE TO ANY EXISTING TREES TO REMAIN. EXISTING TREES SHALL BE REMOVED ONLY IF REQUIRED FOR CONSTRUCTION. THOSE TREES NOT INTERFERING WITH CONSTRUCTION SHALL BE PROTECTED IN PLACE.
- 24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING AT HIS OWN EXPENSE ANY ITEMS, INCLUDING BUT NOT LIMITED TO NEARBY PROPERTIES AND EXISTING DRAINAGE INFRASTRUCTURE, DAMAGED DUE TO HIS PERSONNEL OR EQUIPMENT INSIDE AND/OR OUTSIDE OF THE CONSTRUCTION AREA.
- 25. CONTRACTOR SHALL ENSURE THAT ALL MUD OR ANY OTHER TYPE OF DEBRIS IS CLEANED FROM ADJACENT ROADWAYS (WHERE APPLICABLE) AT THE END OF EACH DAY CONTRACTOR SHALL BE LIABLE FOR ANY PERSONAL OR PROPERTY DAMAGE CAUSED BY ANY TYPE OF DEBRIS LEFT ON ROADWAYS AND/OR PEDESTRIAN WAYS.
- 26. CONTRACTOR SHALL AVOID DAMAGING EXISTING IRRIGATION SYSTEMS. IF PLANS AND BLUEPRINTS ARE NOT PROVIDED OR AVAILABLE THE CONTRACTOR WILL NOT BE
- 27. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.

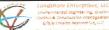
SOIL EROSION, SEDIMENT, AND TURBIDITY CONTROL GENERAL NOTES

- THIS PROJECT IS SUBJECT TO ALL RELATED ENVIRONMENTAL REQUIREMENTS WHICH INCLUDE A "CONTROL OF EROSION AND SEDIMENTATION PLAN". THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY AND ADEQUATE MEASURES FOR PROPER CONTROL OF EROSION DUE TO SEDIMENTATION RUNOFF FROM THE SITE PRIOR TO CONSTRUCTION OPERATIONS IN A PARTICULAR AREA. ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION. FIELD ADJUSTMENTS WITH RESPECT TO LOCATIONS AND DIMENSIONS MAY BE MADE BY THE ENGINEER AS REQUIRED.
- EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN FOR DAMAGE AND GENERAL EFFECTIVENESS. ANY DAMAGED OR INEFFECTIVE CONTROLS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED, IF DEEMED NECESSARY, BY THE ON-SITE INSPECTOR.
- 4. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. TEMPORARY AND PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL TEMPORARY SEDIMENT CONTROL DEVICES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL THE AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION.
- ALL CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ON TO ANY PUBLIC RIGHT-OF-WAY. THIS SHALL REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS REQUIRE. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED ON TO PUBLIC RIGHT-OF-WAY OR INTO STORM DRAINS SHALL BE PROMPTLY REMOVED BY CONTRACTOR.

- 7. FLOATING TURBIDITY BARRIERS SHALL BE INSTALLED AND MAINTAINED AS CLOSE AS POSSIBLE TO THE CONSTRUCTION OPERATION UPSTREAM AND DOWNSTREAM OF CANALS, TURBIDITY BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS
- TURBIDITY BARRIERS WILL BE RELOCATED ALONG THE SHORELINE AS THE SECTIONS/PHASES OF CONSTRUCTION ARE COMPLETED.
- TURBIDITY SCREENS OR EQUIVALENT SHALL BE PROPERLY EMPLOYED AND MAINTAINED AS NECESSARY DURING CONSTRUCTION ACTIVITIES SO THAT TURBIDITY LEVELS DO NOT EXCEED 29 NTU'S ABOVE NATURAL BACKGROUND 50 FEET DOWNSTREAM OF POINT OF DISCHARGE, IF TURBIDITY LEVELS EXCEED THESE LIMITS, PROJECT ACTIVITIES SHALL IMMEDIATELY CEASE, AND WORK SHALL NOT RESUME UNTIL TURBIDITY LEVELS DROP TO WITHIN THESE LIMITS
- 10. CONTRACTOR SHALL SOD GRASS AREAS DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO OWNER
- 11. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION
- 12. IF 1 ACRE OR MORE IS DISTURBED, A NPDES GENERAL PERMIT IS REQUIRED.

© Ero

Frosion and Sedimentation Control Plan for Ditch at Hidden Oaks Condominium Association, Inc.



PIETER M LOMBARD P.E. FL LIC. No. 66596 ENGINEER OF RECORD

GENERAL NOTES

0	sion Res	toration,	LLC.
	PROJECT NO.	SHEET	OF
	2019-137	2	25
	DRAWN BY	DATE	SCALE
	MR	07/31/2020	

LEGEND

SYMBOL/LINE BASELINE \checkmark N32"59'57.19"E BEARING EXISTING GROUND ELEVATION (FROM SURVEY) , 2.94 SIGN (SINGLE SUPPORT) SIGNAL MAST ARM CANAL RIGHT OF WAY EXISTING GUARDRAIL TYTTTTTTTTTTTTTTT GRASS SOD

SYMBOL/LINE	DESCRIPTION	USED
	_DETAIL NUMBER	
1 28	TYPICAL DETAIL CALL OUT	
-	DETAIL SHEET NUMBER	
	ARTICULATING CONCRETE BLOCK MATS (ACBs)	
	BEDDING STONE/CRUSHED CONCRETE	\checkmark
	EMBANKMENT	\checkmark
	HYDROTEX (ENVIROMAT)	\checkmark
	REGULAR EXCAVATION	\checkmark
	RIP-RAP	\checkmark
Carried Street	RIP-RAP (BOULDER)	\checkmark
	FLEXAMAT	
2000000	PLANTS	\checkmark
1000	SEAWAL:	
	STACKED CANAL BANK STABILIZATION (CBS)	
	STRUCTURAL FILL - CROSS SECTION	\checkmark
	STRUCTURAL FILL - PROFILE	\checkmark

ABBREVIATIONS

ASPH =	ASPHALT
BL =	BASELINE
BLCP =	BASELINE CONTROL POINT (TO BE SET BY CONTRACTOR)
BM =	BENCHMARK
C.L.F. =	CHAIN LINK FENCE
C.M.E. =	CANAL MAINTENANCE EASEMENT
CAP =	CORRUGATED ALUMINUM PIPE
CBS =	CANAL BANK STABILIZATION
GMP =	CORRUGATED METAL PIPE
COA =	COLLAPSED AREA
CONC =	CONCRETE
COR =	CORNER
CSLAB =	CONCRETE SLAB
DIP =	DUCTILE IRON PIPE
DWT=	DESIGN WATER TABLE
ELEV =	ELEVATION
EOP =	EDGE OF PAVEMENT
EOW =	EDGE OF WATER
ERA =	ERODED AREA
ESMT =	EASEMENT
ETOB =	EXISTING TOP OF BANK
EXIST =	EXISTING
FDOT =	FLORIDA DEPARTMENT OF TRANSPORTATION
FT=	FEET
G =	GAS
GR =	GRADE
HFT=	HOUSE FOOTPRINT
HOR =	HORIZONTAL
HWT =	HIGH WATER TABLE
INV =	INVERT
IRR =	IRRIGATION
LB =	POUND
LT =	OFFSET LEFT
MUTCD =	MANUAL OF UNIFORM TRAFFIC DEVICES
N/A =	NOT APPLICABLE

NAD = NORTH AMERICAN DATUM

NAVD = NATIONAL AMERICAN VERTICAL DATUM

NTU = NEPHELOMETRIC TURBIDITY UNITS
OWT = OBSERVED WATER TABLE
P/L = PROPERTY LINE
PB = PLAT BOOK
PED = PEDESTRIAN

NG= NATURAL GRADE

NGVD = NATIONAL GEODETIC VERTICAL DATUM

PG =	PAGE
PI=	POINT OF INTERSECTION
P&P =	PLAN AND PROFILE
PROP. =	PROPOSED
PVC =	POLYVINYL CHLORIDE
PVMT =	PAVEMENT
R/W =	RIGHT OF WAY
RT=	OFFSET RIGHT
SAN =	SANITARY
SCP =	SURVEY CONTROL POINT
SDWK =	SIDEWALK
VVMD =	WATER MANAGEMENT DISTRICT
SP=	SHEET PILING
SPK =	SPRINKLER
SWPPP	STORMWATER POLLUTION PREVENTION F
ST =	STORM
STA =	STATION
STD =	STANDARD
TBM =	TEMPORARY BENCHMARK
TOBP =	TOP OF BANK (PROPOSED)
TOB =	TOP OF BANK
TOS =	TOP OF SLOPE
TYP =	TYPICAL
UT =	UTILITY
VERT =	VERTICAL
VV =	WATER
WD =	WOOD DOCKS
WL =	WATERLINE
	CROSS SECTION

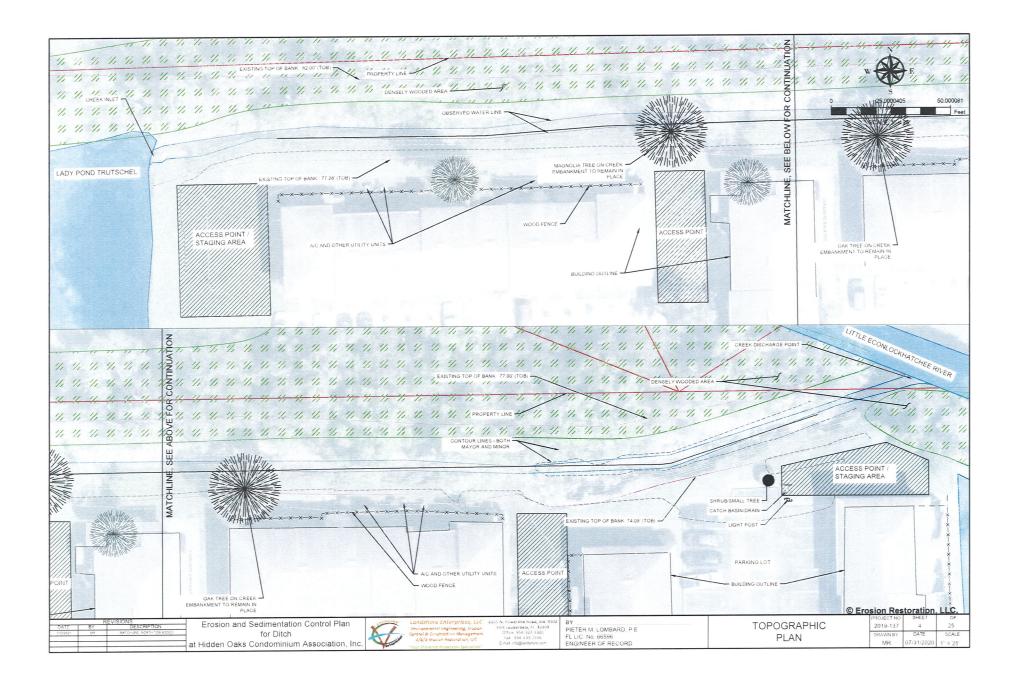
	RE	VISIONS	Erosion and Sedimentation Control Plan
DATE	BY	DESCRIPTION	Elosion and Sedimentation Control Flan
			for Ditch
			10.0
			at Hidden Oaks Condominium Association, In

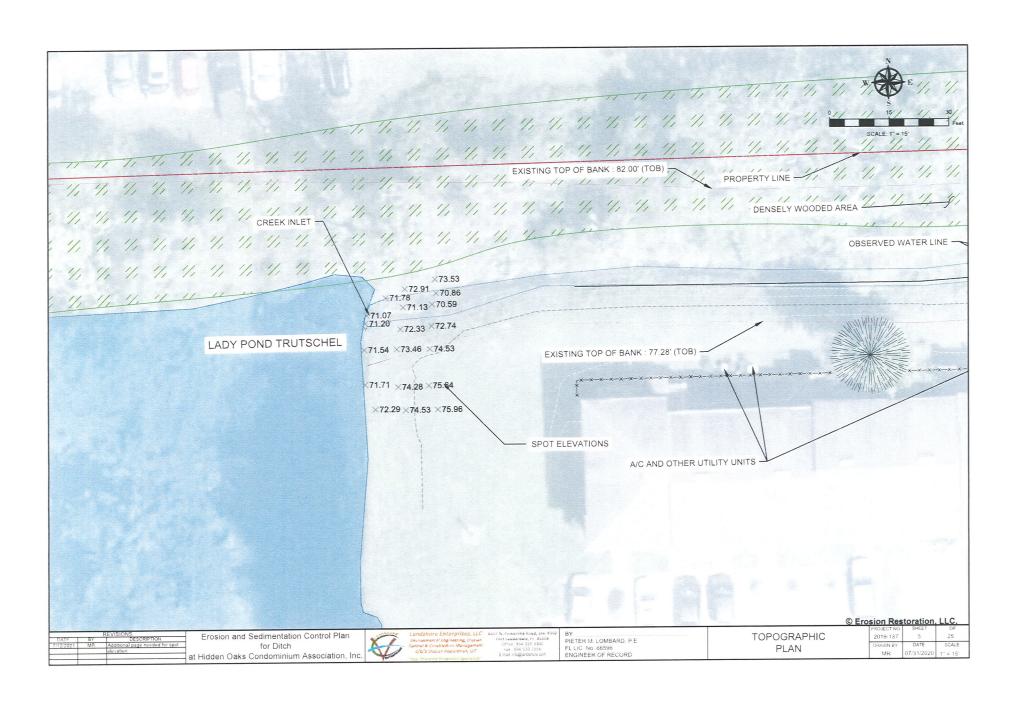


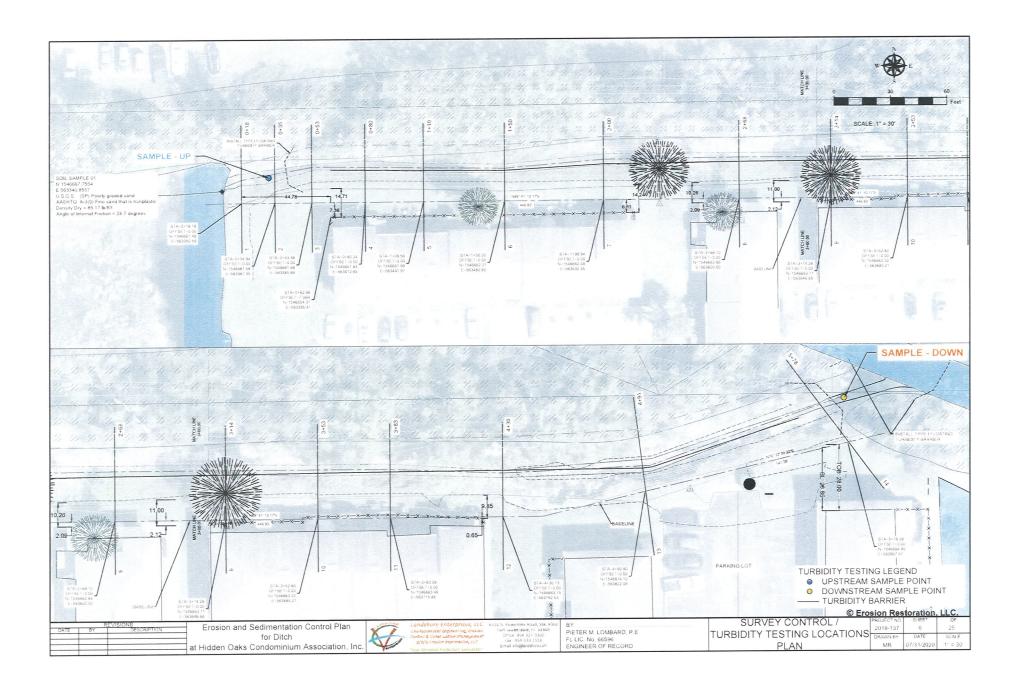
BY 23309 PIETER M. LOMBA
XX FL LIC No. 66596
ENGINEER OF REC

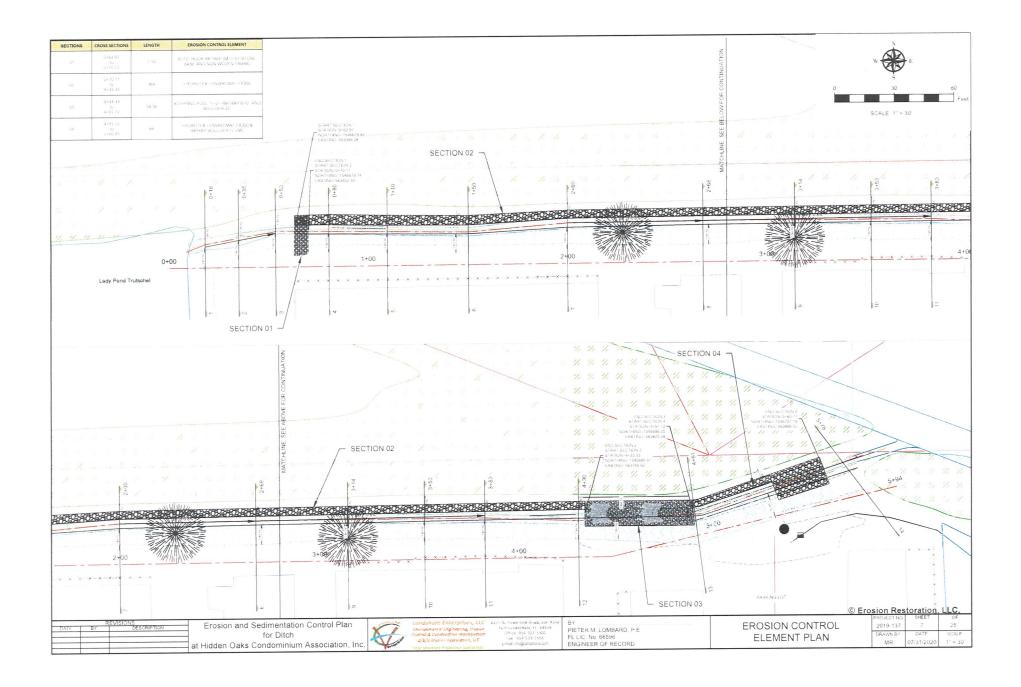
OMBARD, P.E.	LEGEND AND ABBREVIATIONS
6596	LEGEND / NO /
OF RECORD	

Erc	sion Res	storation,	LLC.	
	2019-137	SHEET 3	0F 25	
NS	DRAWN BY.	DATE 07/31/2020	SCALE NI/A	

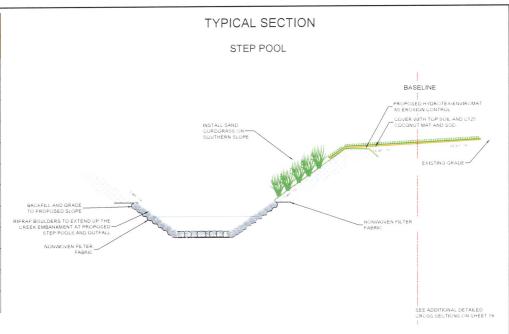








ITEM NUMBER	FDOT OR LSE REFERENCE NUMBER	DESCRIPTION	UNIT	QUANTITY TOTAL
1	101- 1	MOBILIZATION	LS	1
2	110-1-1	CLEARING AND GRUBBING	LS	1
3	120- 1	REGULAR EXCAVATION	CY	313
4	120-6	EMBANKMENT	CY	133
5	02930-2.1	SOD	SY	769
6	FX300	HYDROTEX - ENVIROMAT FX300	SY	1163
7	900-2	C125 EROSION CONTROL BLANKET	SY	769
8	530-3-4A	RIPRAP TYPE "A" 6-12"	TON	90
9	530-3-4B	RIPRAP BOULDERS 22"	TON	16
10	530-34D	LIME ROCK #4	TON	25
11	900-2.2	NONWOVEN GEOTEXTILE FABRIC	SY	607
12	012170	FLOWABLE FILL (CONCRETE FILL)	CY	105



QUANTITY INFORMATION FOOTNOTES:

-PROJECT LENGTH: 495.5 ft

120-6

- INCLUDES CLEARING AND GRUBBING OF ALL MATERIAL WILL BE REMOVED FROM THE JOB SITE 110-1-1

- INCLUDES SUITABLE BACKFILL COMPACTED TO 95% DENSITY AT OPTIMUM MOISTURE

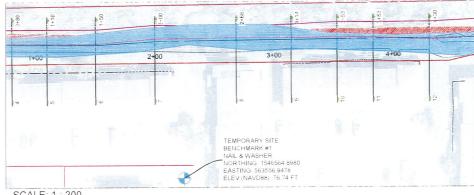
(ACCORDING ASTM D 698)

02930-2.1. -INCLUDES GROUND PREPARATION AND COMPLETE MAINTENANCE OF THE AREA UNTIL FINAL COMPLETION. REFER TO VEGETATION SPECIFICATION 02930 FOR ADDITIONAL PLANTING

-FOR CONCRETE FILL NEEDED IS AVERAGED TO 97 ft²/yd³. FX300

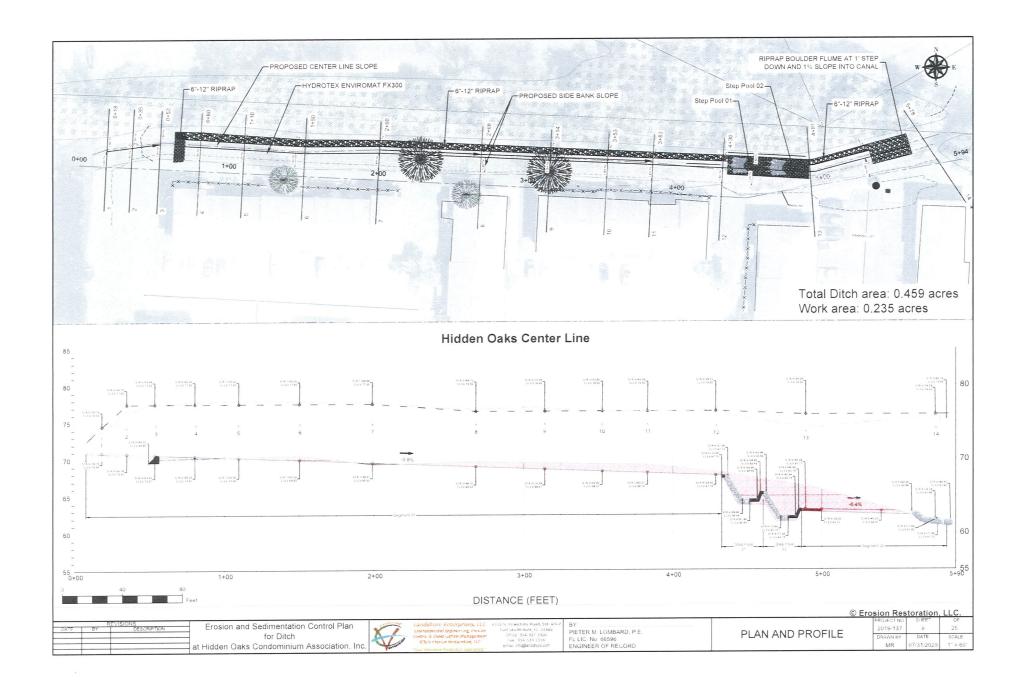
FLORIDA DEPARTMENT OF TRANSPORTATION LSE LANDSHORE ENTERPRISES, LLC

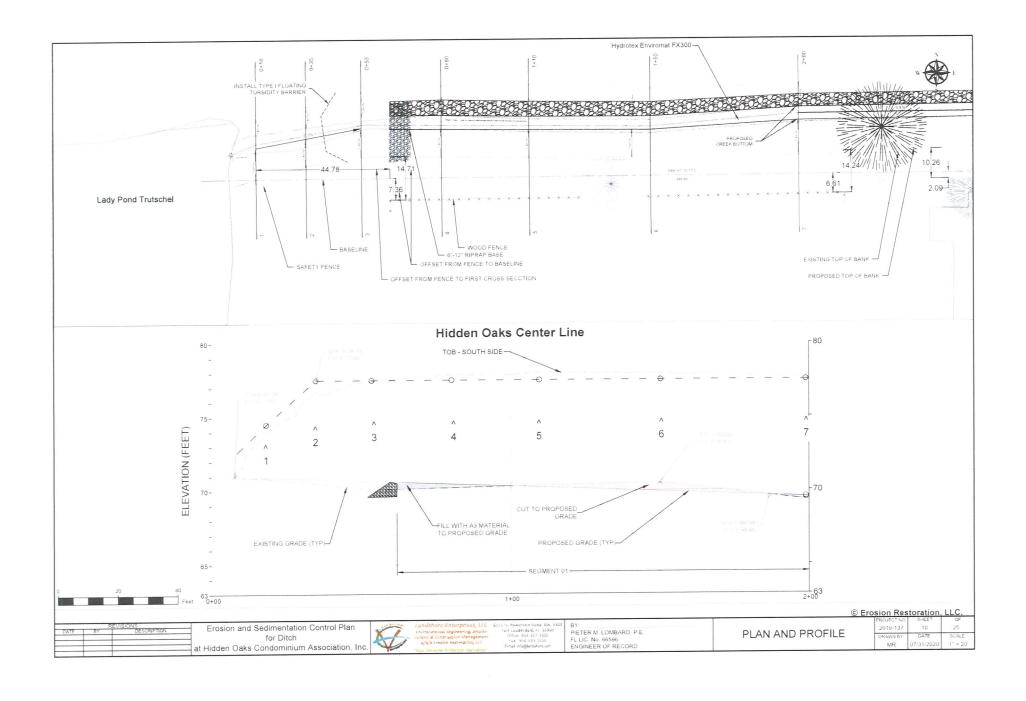
SCALE: N.T.S. BENCHMARK LOCATION

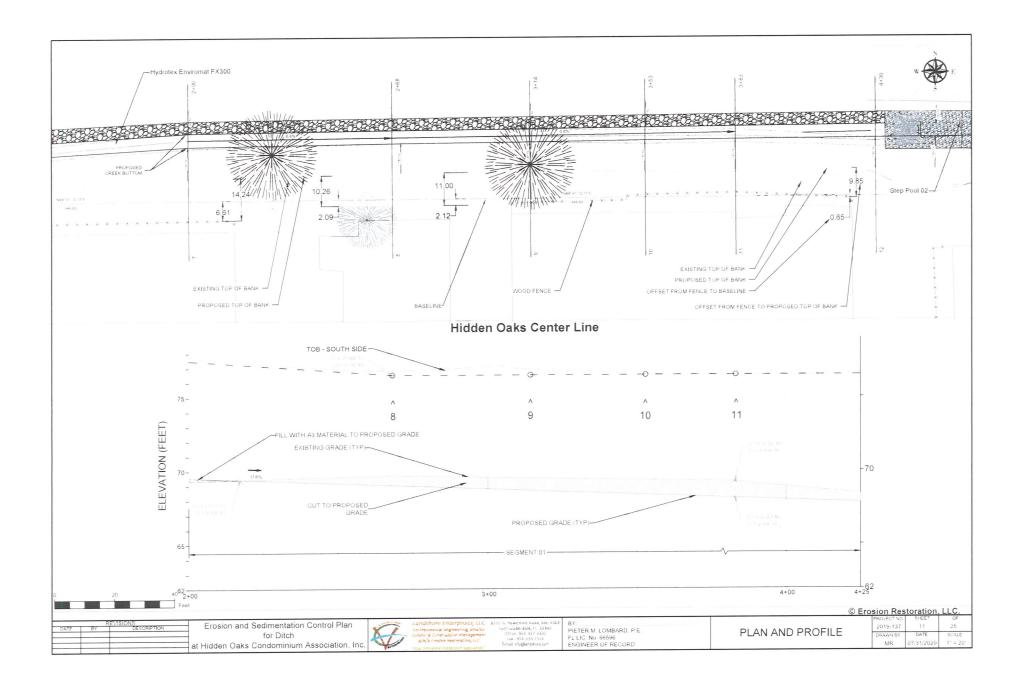


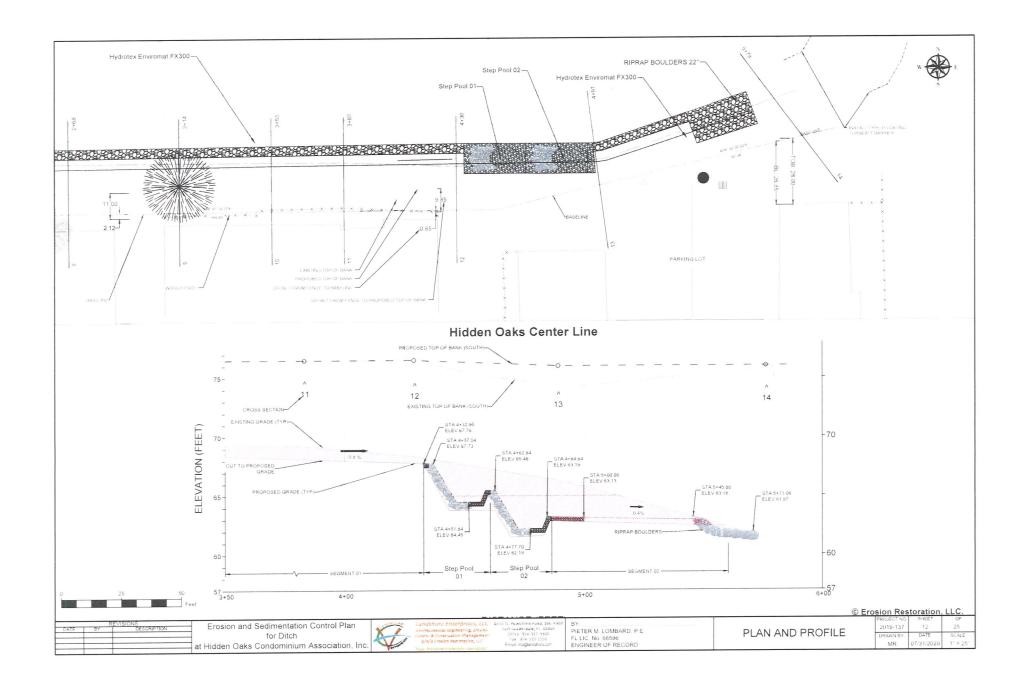
SCALE: 1:200

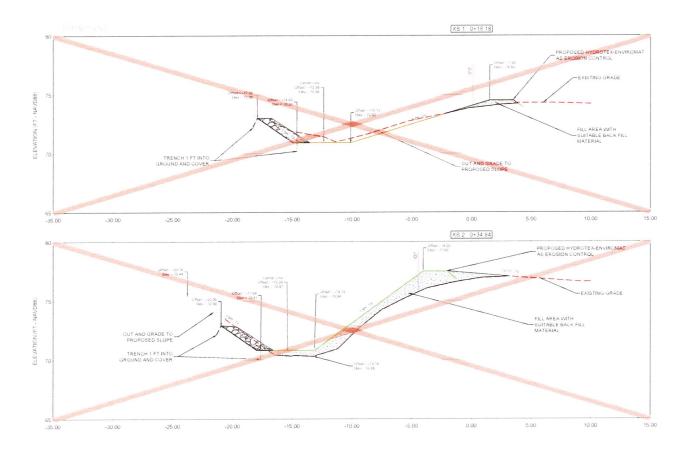
		© Erosion Resto	oration, LLC,
REVISIONS Erosion and Sedimentation Control Plan	Landshore Enterprises, LLC 655 N. Powerine Road, Ste. 4502 BY:	PROJECT NO 2019-137	SHEET OF 8 25
ORICO DESOURCE FOR	Control & Contro	ITIES DRAWN BY	DATE SCALE
at Hidden Oaks Condominium Association, Inc.		MR 0	07/31/2020 AS SHOWN











DATE BY DESCRIPTION
T/11/2/2021 MR Cross out of Mexitors no longer needed at Hidden Oaks Condominium Association, Inc.

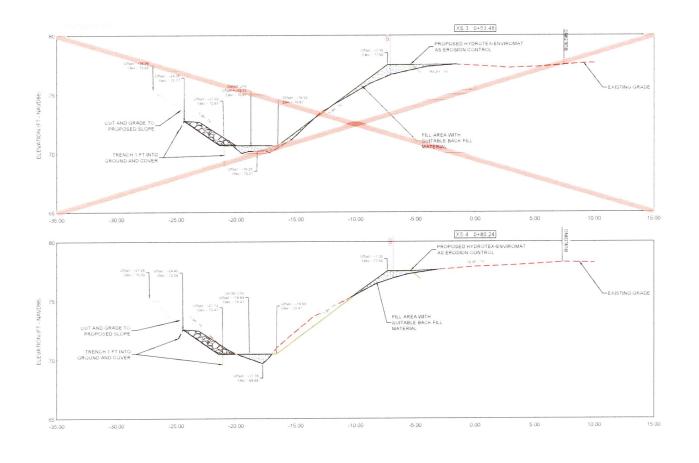


isso N. Fowerline Road, Ste. 4302 Fort Lauderdule, FL 33509 Office 954 327 3300 Fax 954 533 1556 E-mail into@landshore.com

BY PIETER M. LOMBARD, P.E. FL LIC. No. 66596 ENGINEER OF RECORD

CROSS SECTIONS

© Ero	sion Res	toration,	LLC.
	PROJECT NO.	SHEET	OF
	2019-137	13	25
	DRAWN BY	DATE	SCALE
	MR	07/31/2020	1" = 5"



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DESCRIPTION
TO DITCH
AT Hidden Oaks Condominium Association, Inc.

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To Disconside the form of the control Plan for Ditch
At Hidden Oaks Condominium Association, Inc.

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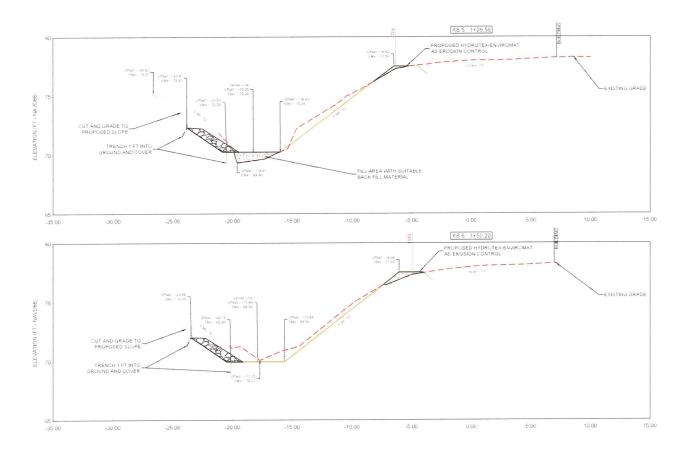
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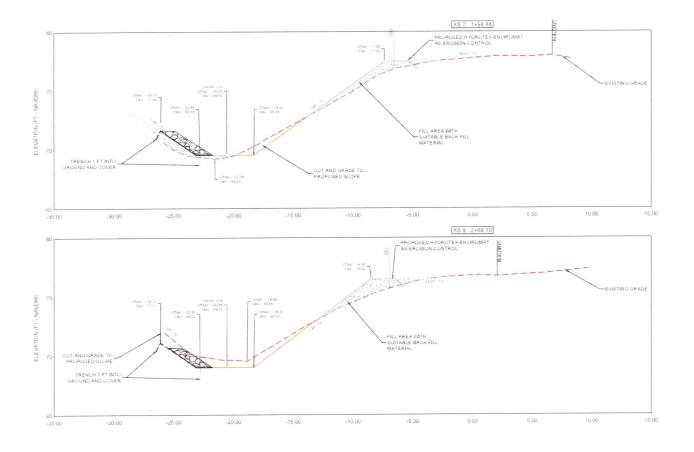
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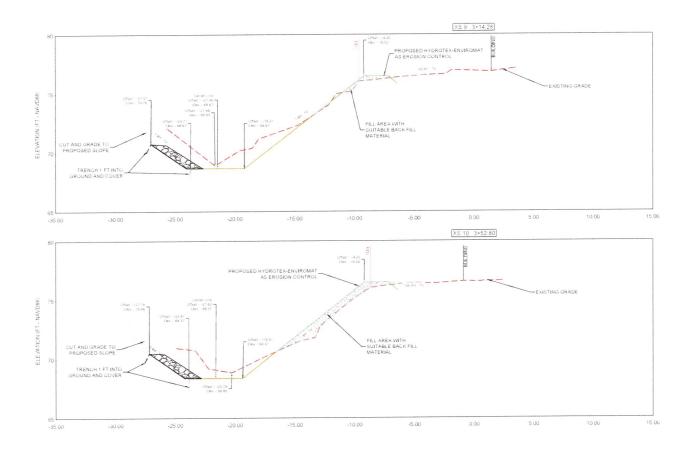
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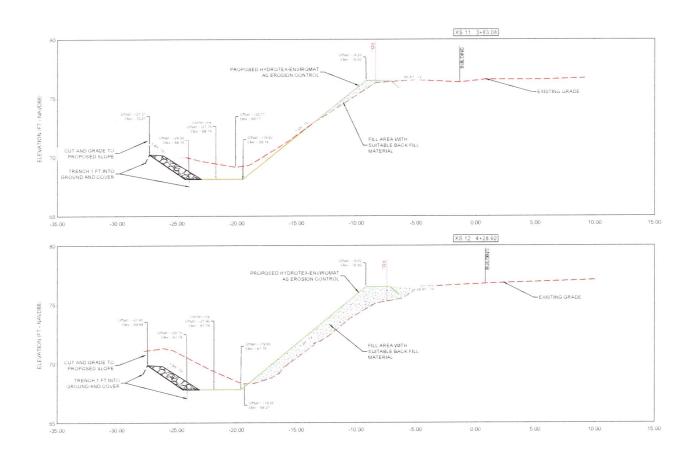


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Erosion and Sedimentation Control Plan for Ditch
at Hidden Oaks Condominium Association, Inc.

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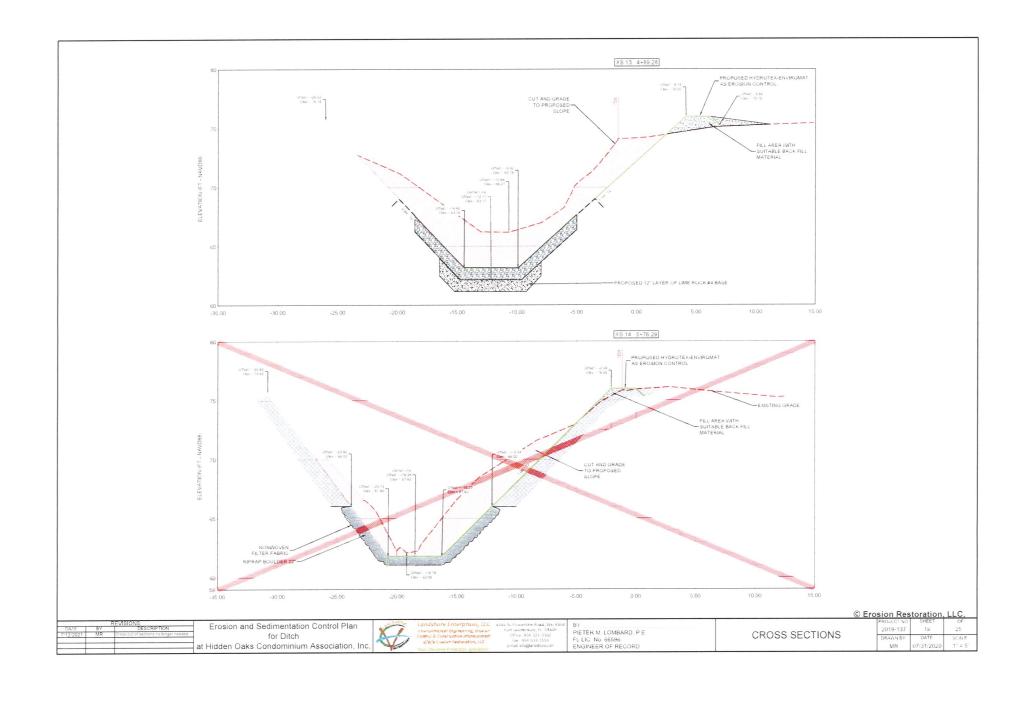


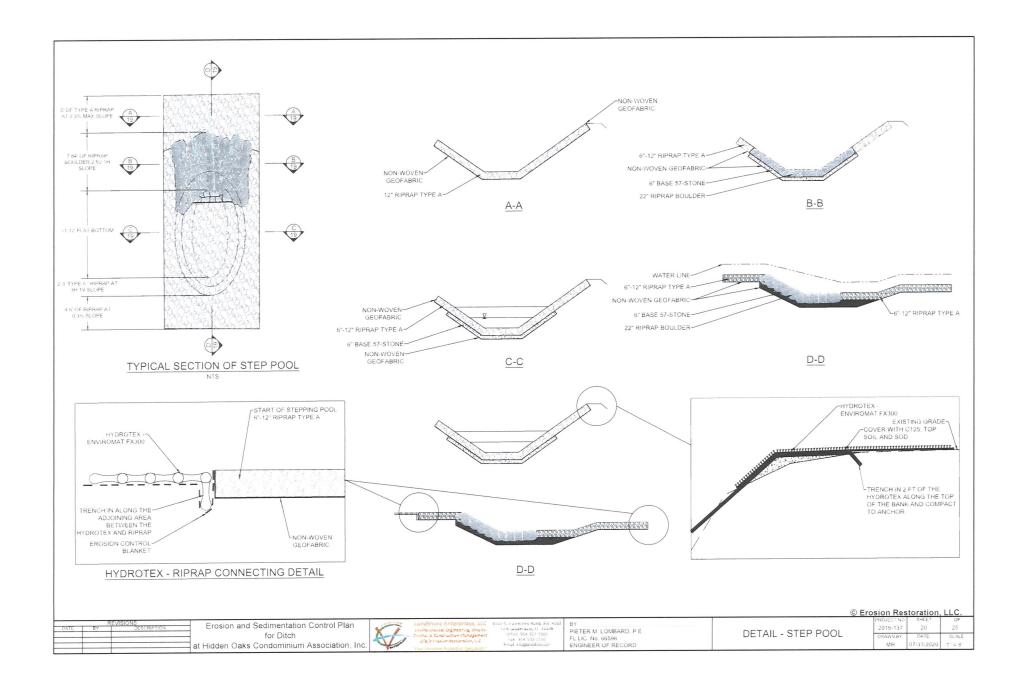
REVISIONS Erosion and Sedimentation Control Plan Control BY DESCRIPTION Erosion and Sedimentation Control Plan	PROJECT NO.	SHEET	
DATE BY DESCRIPTION ELOSION AND FOR SECTIONS	2019-137	17	25
for Ditch at Hidden Oaks Condominium Association, Inc. at Hidden Oaks Condominium Association, Inc.	DRAWN BY:	DATE 07/31/2020	SCALE 1" = 5"



REVISIONS
Erosion and Sedimentation Control Plan
for Ditch
at Hidden Oaks Condominium Association, Inc.

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5550 Triangle Parkway Suite 220 Peachtree Corners, GA 30092 USA www.synthetex.com



HYDROTEX® EnviroMat FX300

Hydrotex® EnviroMat FX300 (patent-pending) linings are filled with concrete with unwoven filtration/vegetation perimeters provide an erosion resistant, permeable concrete lining having a cobbled surface and a relatively high coefficient of hydraulic friction in order to reduce water velocity. EnviroMat FX300 Linings are comprised of concrete-filled elements and unfilled fabric areas that allow for either filling in place or lifting and placing as well as well as the establishment of vegetation. Once the concrete sets, the defined, unfilled fabric areas (nominally 5% of the total area of the lining) are used to establish vegetation as well as facilitate articulation, lifting and placing. The unwoven fabric areas allow for planting establishment or are filled with topsoil and seeded. A vegetated cover should be designed for the lining, resulfing in an erosion control system with the hydraulic, ecological and aesthetic features desired. The EnviroMat FX300 linings can be used in conjunction with a furf reinforcement mat (TRM) or erosion control blanket (ECM) based on local soil, hydraulic and vegetative growth conditions.

The fabric forms for casting the concrete lining(s) are HYDROTEX® EnviroMat FX300 fabric forms manufactured by Synthetex, LLC, 5550 Triangle Parkway, Suite 220 Peachtree Corners, Georgia 30092, Tel: 800, 253,0561 or 770,399,5051, E-Mail: info@synthetex.com, Hydrotex EnviroMat FX300 linings have a finished average thickness of 3 inch, a nominal mass per unit area of 33 lbrift $\frac{7}{4}$, and a deeply cobbled surface appearance. In addition, EnvironMat FX300 has been tested in a hydraulic flume per ASTM 6460.

The fabric forms are composed of polyester and/or nylon yarns into woven fabric meeting the performance criteria in the following table. The fabric forms are woven with a minimum of 50% textured yarns (by weight). Partially-oriented (POY), draw-textured, and/or staple yarns are not used in the manufacture of the fabric. Each layer of fabric conforms to the physical, mechanical and hydraulic requirements Mean Average Roll Values listed in Table 1.0. The fabric forms are free of defects or flaws which significantly affect their physical, mechanical, or hydraulic properties.

Synthetex can provide certificates of compliance for the fabric forms as well as specifications, literature, shop drawings for the layout of the EnviroMat FX100 lining panels, and recommendations that are specifically related to the project, if requested.



Table 1.0 PROPERTY REQUIREMENTS - HYDROTEX WOVEN FABRIC 1, 2

	Test Method	Units	MARV
Physical Properties			
Mass Per Unit Area (double-layer)	ASTM D 5261	oz/yd2	13
Thickness (single-layer)	ASTM D 5199	mils	15
Mill Width (Woven)		inch	84
Mechanical Properties			
Wide-Width Strip Tensile Strength - MD TD	ASTM D 4595	lbs/inch	300 350
Elongation at Break - MD TD - Max.		%	15 15
Trapezoidal Tear Strength - MD TD	ASTM D 4533	lbs	150 175
CBR Puncture Strength	ASTM D 6241	lbs	1250
Mullen Burst Strength	ASTM D 3786 (Mod.)	psi	500
	Test Method	Units	MARV Range
Hydraulic Properties			
Apparent Opening Size (AOS)	ASTM D 4751	U.S. Standard Sieve	30 - 40
Flow Rate	ASTM D 4491	gal/min/ft2	30 - 55

Notes:

- Conformance of fabric to specification property requirements are based on ASTM D 4759. Material testing
 reports are available and prepared by a certified geotextile laboratory attesting to the fabric form material's
 compliance with this Specification. Material laboratory testing shall have been performed within ninety (90)
 days of the submittal date.
- All numerical values represent minimum average roll values (i.e., average of test results from any sample roll in a lot shall meet or exceed the minimum values). Lots are sampled according to ASTM D 4354.

Certification (Open Channel Flow)

The average thickness, mass per unit area and hydraulic resistance of each concrete lining shall withstand the hydraulic loadings for the design discharges along the structure(s). The stability analysis for each concrete lining are accomplished using a factor-of-safety methodology. A minimum factor of safety of 1.3 is required, or higher as determined by the Engineer-of-Record, local conditions or critical structures. Synthetex can provide the calculations if needed to confirm conformance to the project conditions and requirements.

Erosion Control Blanket (ECB) or Turf Reinforcement Mat (TRM)

An underlying ECB or TRM, as specified elsewhere, can be selected and placed on the graded surface approved by the Engineer.

Erosion and Sedimentation Control Plan	VISIONS	RE	
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at Hidden Oaks Condominium Association, I			



655 N. Fowerline Road, Stc. W302 Fort Lauderdale, FL 33309 Office 954-327-3300 Fax 954-533-1556 E-mail info@landshore.com

BY PIETER M. LOMBARD, P.E. FL LIC No. 66596 ENGINEER OF RECORD MANUFACTURER'S SPECIFICATIONS

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	PROJECT NO.	SHEET	OF
	2019-137	21	25
	DRAWN BY	DATE	SCALE
	MR	07/31/2020	N/A



Fine Aggregate Concrete

EnviroMat FX shall be filled with a suitable fine aggregate concrete for proper filling of the fabric forms. Typical concrete mix proportions and sample mix designs can be provided by Synthetex, as well as recommended installation means and methods. Average curred concrete compressive strength within the mat shall be 5 000 psi.

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rystrotexes products are tradeflates of Synthetex, LCC. Reparted Trademark 2019, Synthetex, LCC EnviroMat FX Patent Pending. The information contained herein is furnished without charge or obligation, and the recipient assumes all responsibility for its use. Because conditions of use and handling may vary and are beyond our control, we make no representation about and are not responsible for the accuracy or relability of said information or the performance of any product. Any specifications, properties or applications listed are provided as information only and in no way mootify enlarge or create any warranty. Nothing contained herein is to be constitued as permission or as a recommendation to infininge any patent.

Hydrotex® products are manufactured and sold by



5550 Triangle Parkway, Suite 220 Peachtree Corners, GA 30092 USA Tel: 1.800.253.0561 or 770.399.5051 Fax: 770.394.5999

www.synthetex.com · e-mail: info@synthetex.com



TENCATE GEOSYNTHETICS









Mirafi® 160N is a nonwoven geotextile composed of polypropylene fibers, which are formed into a stable network such that the fibers retain their relative position. Mirafi® 160N is inert to biological degradation and resists naturally encountered chemicals. alkalis, and acids. Mirafi® 160N meets AASHTO M288 Class 2 for Elongation > 50%.

TenCate Geosynthetics Americas Laboratories are accredited by Geosynthetic Accreditation Institute – Laboratory Accreditation Program (GAI-LAP). NTPEP Listed

Mechanical Pro	Mechanical Properties		Unit	Minimum Average Roll Value	
				MD	CD
Grab Tensile Str	ength	ASTM D4632	lbs (N)	160 (712)	160 (712)
Grab Tensile Elor	ngation	ASTM D4632	%	50	50
Trapezoid Tear S	trength	ASTM D4533	lbs (N)	60 (267)	60 (267)
CBR Puncture S	trength	ASTM D6241	lbs (N)	410 (1825)	
				Maximum O	pening Size
Apparent Opening S	ize (AOS)	ASTM D4751	U.S. Sieve (mm)	70 (0	.212)
, ipparatit opening olde (1000)			Minimum	Roll Value	
Permittivity		ASTM D4491	sec-1	1.	5
Flow Rate		ASTM D4491	gal/min/ft2 (l/min/m2)	110 (4481)	
				Minimum 1	Test Value
UV Resistance (at 5	00 hours)	ASTM D4355	% strength retained	7	0
Physi	cal Properties		Unit	Roll	Size
Roll Dimension			ft (m)	15 x 300	(4.5 x 91)
	Roll Area	2 2 -	yd2 (m2)	500	(418)

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365 South Holland Drive Pendergrass, GA 30567

FGS000361 ETQR89 Tel 706 693 2226 Tel 888 795 0808 Fax 706 693 4400 www lengale com-





GA LAP 25 97

DATE BY DESCRIPTION Erosion and Sedimentation Control Plan for Ditch at Hidden Oaks Condominium Association, Inc.



6555 N. Fowerine Road, Stc. #302 Fort Lauder date, Ft. 95309 Office 954-327-3300 Fax. 954-533-1556 E-mail info@landstore.com

BY PIETER M. LOMBARD, P.E. FL LIC. No. 66596 ENGINEER OF RECORD MANUFACTURER'S SPECIFICATIONS

rosion Restoration, LLC.					
	PROJECT NO	SHEET	OF		
	2019-137	22	25		
	DRAWN BY	DATE	SCALE		
	MR	07/31/2020	N/A		



Material and Performance Specification Sheet

North American Green 14649 Highway 41 North Evansville, IN 47725 800-772-2040 FAX: 812-867-0247

C125 Frosion Control Blanket

The long-term double net erosion control blanket shall be a machine-produced mat of 100% coconut fiber with a functional longevity of up to 36 months. (NOTE: functional longevity may vary depending upon climatic conditions, soil, geographical location, and elevation). The blanket shall be of consistent thickness with the coconut evenly distributed over the entire area of the mat. The blanket shall be covered on the top and bottom sides with a heavyweight polypropylene netting having ultraviolet additives to delay breakdown and an approximate 0.63 x 0.63 (1.59 x 1.59 cm) mesh. The blanket shall be sewn together on 1.50 inch (3.81 cm) centers with degradable thread.

The C125 shall meet requirements established by the Erosion Control Technology Council (ECTC) Specification and the US Department of Transportation, Federal Highway Administration's (FHWA) Standard Specifications for Construction of Roads and Bridges on Federal Highway Projects, FP-03 Section 713.17 as a type 4 Long-term Erosion Control Blanket.

The C125 is also available with the DOT SystemTM, which consists of installation staple patterns clearly marked on the erosion control blanket with environmentally safe paint. The blanket shall be manufactured with a colored thread stitched along both outer edges (approximately 2-5 inches [5-12.5 cm] from the edge) as an overlap guide for adjacent mats.

	Material Content	
Matrix	100% Coconut Fiber	0.5 lbs/yd2 (0.27 kg/m2)
Nettings	Both sides – Heavyweight UV stabilized	3.0 lb/1000 ft2 (1.47 kg/100 m2)
Thread	100% Black Polypropylene	

192 yd2 (165,5 m2)

Typical

C125 is available in the following standard roll sizes:

6.67 ft (2.03 m) Width 108 ft (32.92 m) 108 ft (32.92 m) Length 105.6 lbs (47.9 kg)

Test Method

Weight ± 10% 44 lbs (19.95 kg) 80.0 yd2 (66.9 m2) Area

Index Value Properties Property

Performance Design Values

Slope Length (L) 20 ft (6 m)

50 ft (15.2 m) 0.070

0.50 ft (0.15 m) 0.022

20-50 ft

4	Maximum Permissible Shear Stress			
4	Unvegetated Shear Stress	2.25 lbs/ft2 (108 Pa)		
4	Unvegetated Velocity	10.00 ft/s (3.05 m/s)		

0.036

Slope Design Data: C Factors

0.001 0.029

Roughness Coefficients- Unveg. Manning's n

Slope Gradients (S)

0.060

0.090

0.082

0.096

Inickness	AS IM D6525	0.31 in (7.87 mm)
Resiliency	ECTC Guidelines	82%
Water Absorbency	ASTM D1117	220%
Mass/Unit Area	ASTM 6475	8.00 oz/yd2 (271 g/m2)
Swell	ECTC Guidelines	13%
Smolder Resistance	ECTC Guidelines	Yes
Stiffness	ASTM D1388	0.75 oz-in
Light Penetration	ECTC Guidelines	6.6%
Tensile Strength -MD	ASTM D6818	294 lbs/ft (4.36 kN/m)
Elongation - MD	ASTM D6818	21.3%
Tensile Strength - TD	ASTM D6818	205.2 lbs/ft (3.04 kN/m)
Elongation - TD	ASTM D6818	28.4%

Bench Scale Tes	sting* (NTPEP)		
Test Method		Results	Flow Dept
	50 mm (2 in)/hr for 30 min	SLR** = 14.93	0.50 ft (
Rainfall	100mm (4 in)/hr for 30 min	SLR** = 14.97	0.50 - 2.0
	150 mm (6 in)/hr for 30 min	SLR** = 15.00	2.0 ft (0
ECTC Method 3 Shear Resistand	Shear at 0.50 inch soil loss e	2.68 lbs/ft2	
	Top Soil, Fescue, 21 day incubation	477% improvement of biomass	
* Bench Scale tests	should not be used for design purpos		Product
" Soil Loss Ratio = S	Soil loss with Bare Soil/Soil Loss with	RECP (soil loss is based on regi	ession analysis)

Test Method	Parameters	Results
ECTC Method 2	50 mm (2 in)/hr for 30 min	SLR** = 14.93
Rainfall	100mm (4 in)/hr for 30 min	SLR** = 14.97
	150 mm (6 in)/hr for 30 min	SLR** = 15.00
ECTC Method 3	Shear at 0.50 inch soil loss	2.68 lbs/ft2
Shear Resistand	e	
ECTC Method 4	Top Soil, Fescue, 21 day	477% improvement of
Germination	incubation	biomass
* Bench Scale tests	should not be used for design purpos	ses

Product Participant of

PIETER M LOMBARD P.E. FL LIC No. 66596 ENGINEER OF RECORD

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EroNet™ C125® Erosion Control Blanket

PRODUCT DESCRIPTION 2.9 lb., UV-stable polypropylene top net, 70% straw/30% coconut fiber matrix, 1.5 lb. photodegradable polypropylene bottom net.

LONGEVITY 36 months

APPLICATIONS High Flow Channels 1:1 and Greater Slopes

DESIGN PERMISSIBLE SHEAR STRESS Unvegetated 2.25 lbs/ft2/ (108 Pa)

DESIGN PERMISSIBLE VELOCITY Unvegetated 10.0 lbs/s (3.05 m/s)

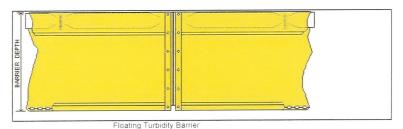
NETTINGS Both sides - 3.0 lbs/1000 ft2/ (1.47 Kg/100 m2/)

THREAD Permanent



Updated 3/09

Erosion and Sedimentation Control Plan	REVISIONS					
	DESCRIPTION	BY	DATE			
for Ditch						
10.000						
at Hidden Oaks Condominium Association, In						



Type 1.DOT

Specifications

Fabric - 18 oz. nominal vinyl/polyester laminated having the following characteristics:

Construction - vinyl laminate on 9X9 1300 x 1300 denier scrim Weight - 18 oz, per sq. yd. (423 gr./sq. m.) Adhesion - 15 lb./in. (14daN/5 cm.) Grab Tensile - 397 x 373 lb./in. (378 x 363 daN/5cm.)

Tongue Tear - 96 x 86 lb. (91 x 82 daN) Hydrostatic - 385 psi (2674 kPa)

All seams heat sealed 5/8 inch diameter poly rope reinforced vertical edges #4 brass grommets 1/4 in.(6.35mm) galvanized chain ballast EPS flotation, 6 in. x 6 in., 15 lb./ft. (220N/m) buoyancy

8-3-04

WARNING BARRIER FENCE

#14993

POLYMER: STABILIZER:

COLOR:

MESH SIZE:

POROSITY: ROLL SIZE:

ROLL WEIGHT:

MD BREAK LOAD: MD YIELD STR:

MD BREAK ELONGATION: MD YIELD POINT ELONGATION: Polyethylene (HPDE)

U.V. Stabilizer

Orange

4" (-1") x 2" (+1 1/2")

8.8 lbs

60%

4' X 50' or 4' X 100'

4.5lbs 500 lbs/ft

600 lbs/ft

35% 15%



Roll weight may vary +/ 10%



© Erosion Restoration, LLC.

REVISIONS
DATE BY DESCRIPTION
Erosion and Sedimentation Control Plan
for Ditch
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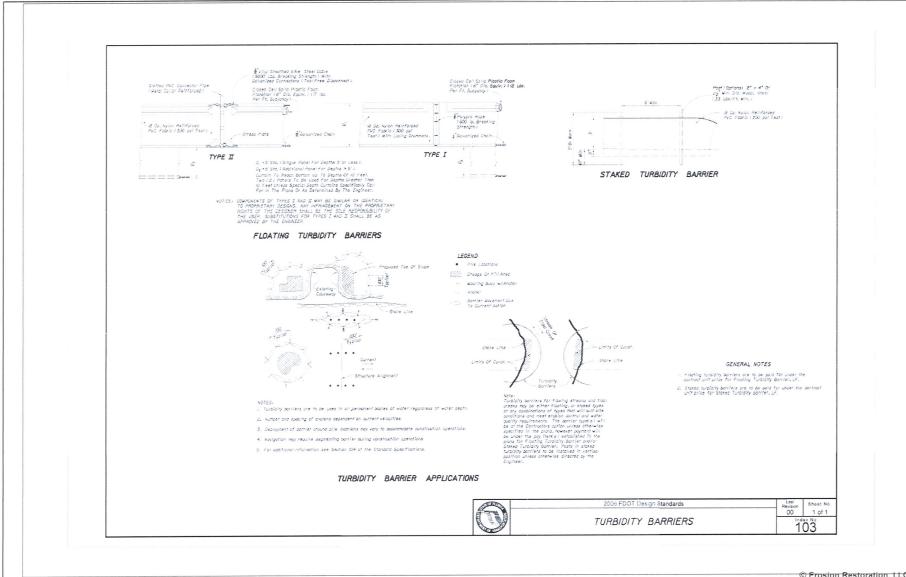


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55 N. Fowerline Road, Stc. #302 B Fort Lauderdale, Ft. 33309 Office 954-327-3300 Fax. 954-333-1556 E-mail intoglandshore.com

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