



Board of County Commissioners

2016-2 Privately-Initiated Out-of- Cycle Small-Scale Development Amendment and Concurrent Substantial Change Request

Adoption Public Hearing

October 4, 2016



2016-2 Out-of-Cycle Small-Scale Amendment 2016-2-C-1-1

- **Community Meeting**

September 13, 2016

- **Adoption public hearings**

LPA – September 15, 2016

BCC – October 4, 2016



Amendment 2016-2-C-1-1

Substantial Change CDR-16-08-297

Agent: Jim Hall, VHB, Inc.

Owner: WPFF Majorca Land Investor, LLC

Request: Commercial (C) to High Density Residential (HDR)

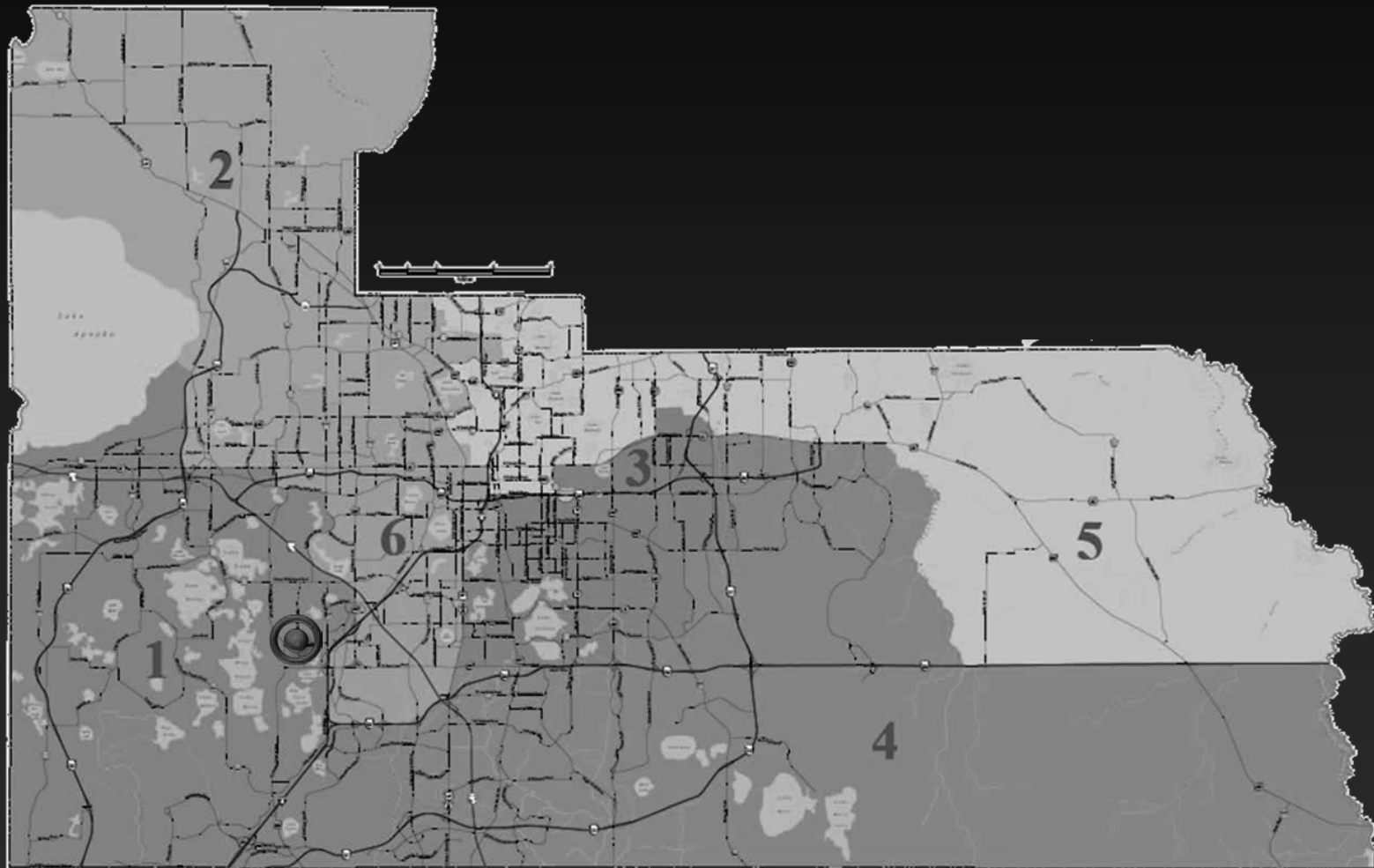
Acreage: 6.5 gross/net developable acres

Proposed Use: Up to 325 multi-family dwelling units



2016-2-C-1-1 / CDR-16-08-297

Location



Aerial



GREEN TREE DRIVE

DOLCE STREET

HARLIE ST
MABEL LOUISE LANE

CYPRESS GROVE ROAD

REGINA WAY

SORRENTO STREET

I-4 ON RAMP W

TOSCANA BOULEVARD

I-4 OFF RAMP W

SPRING LAKE

SOMERSET SHORES COURT

DR PHILLIPS BOULEVARD

W SAND LAKE ROAD

TURKEY LAKE ROAD

I-4 ON RAMP W

I-4 ON RAMP E

INTERNATIONAL DRIVE

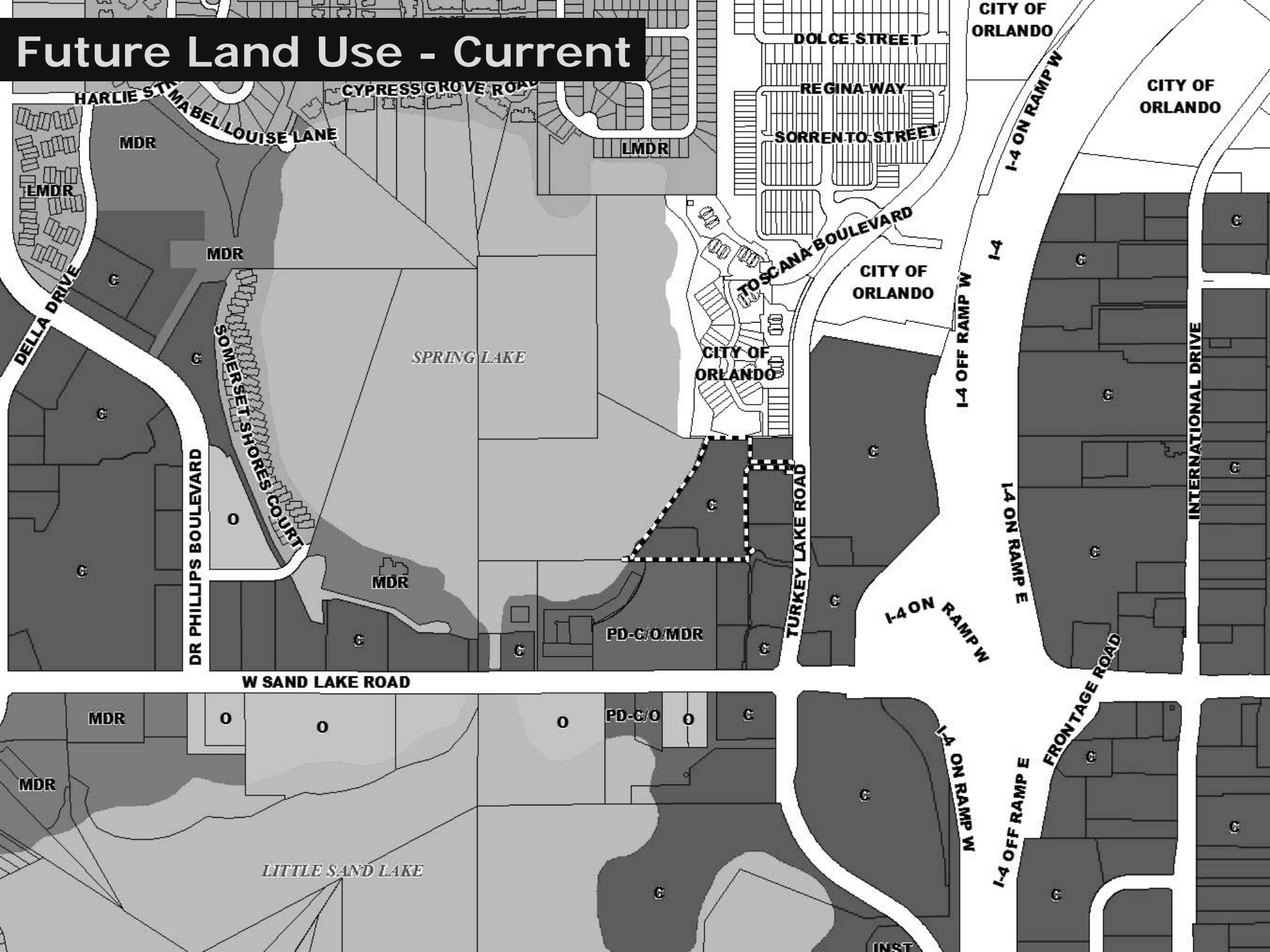
FRONTAGE ROAD

I-4 ON RAMP W

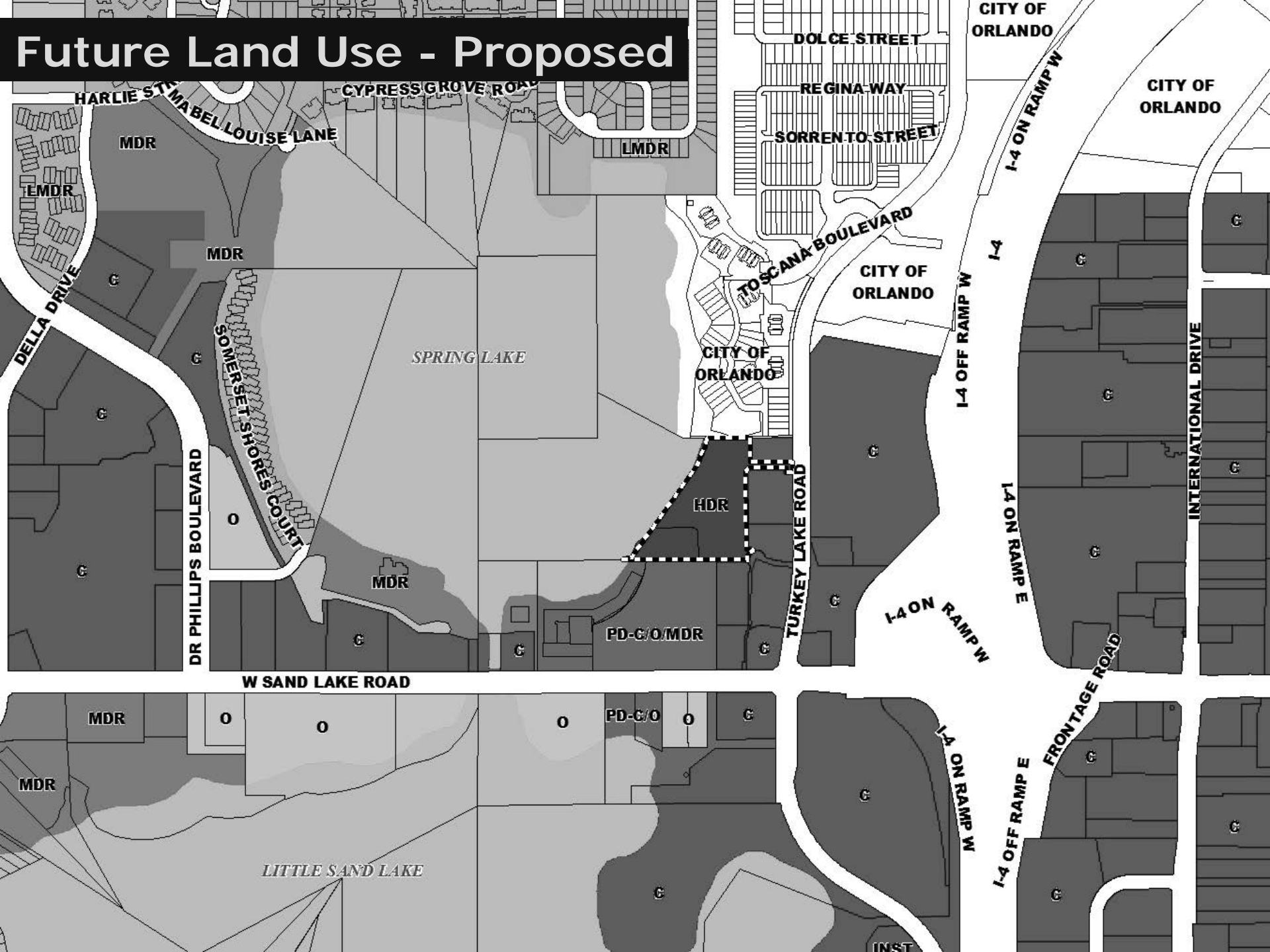
I-4 OFF RAMP E

LITTLE SAND LAKE

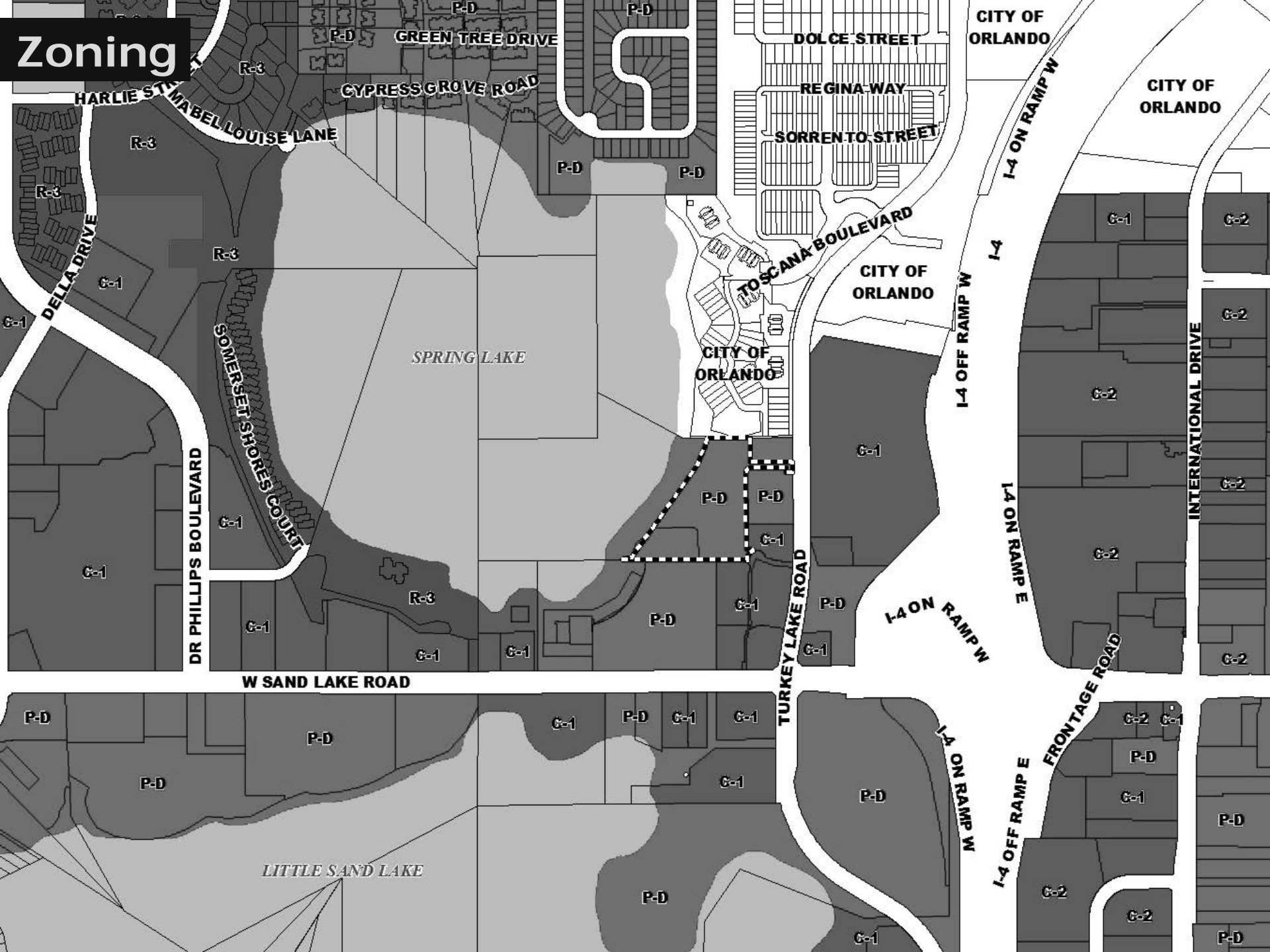
Future Land Use - Current



Future Land Use - Proposed



Zoning





225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Number FL #3932

SITE DATUM

Total Acreage:	26.81 acres
Approx. Wetland Area:	0.71 acres
Spring Lake:	16.9 acres
Net Developable:	9.2 acres

Current Future Land Use:	Commercial
Proposed Future Land Use:	High Density Residential/Commercial
Current Zoning:	Planned Development (PD)
Proposed Zoning:	Planned Development (PD)

Development Program:	
Multi-family:	325 DU
Retail:	50,000 SF
Office:	33,360 SF

Phasing: Single-Phase

Permitted Uses: Permitted uses shall include all uses permitted in the C-1 zoning district and multi-family uses.

Development Standards

	Commercial	Multi-Family
Density/Intensity:	0.21 FAR	50 Du/ac
Maximum Building Height:	35 feet	85 feet/5-stories
Minimum Living Area:	N/A	750 sf

Open Space:		
Required	20% minimum	25% minimum
Provided*	1.8 ac	2.3 ac

* In addition to the 25% minimum required, 6,698 square feet of Lot 3 shall remain open space for Lot 2 pervious area requirement.

Max. Impervious Surface Ratio: 70%

Building Setbacks:		
PUD Boundary	25 feet	25 feet
Lake Setback	50 feet from NHWE	50 feet from NHWE
Turkey Lake Road	40 feet	50 feet

Paving Setback:		
Adjacent Properties	7 feet	7 feet
Turkey Lake Road	7 feet	7 feet
ROW	7 feet	7 feet

Building Separation:	N/A	20 feet
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General Notes

- 1) Master water, wastewater and stormwater plans, including preliminary calculations, shall be approved prior to the approval of construction plans.
- 2) New billboard and pole signs are prohibited. Ground and fascia signs shall comply with Chapter 31.5.
- 3) A Conservation Area Determination (001-034) was completed for the subject property.
- 4) Decks, not docks, shall be permitted on Spring Lake. Approval of this plan does not constitute approval of a permit for the construction of a boat dock, boardwalk, observation pier, fishing pier, community pier, or any other similar permanently fixed structure. Any applicant desiring to construct any of these facilities shall first apply for a permit prior to installation, as specified in Orange County Code Chapter 15, Article IX-Dock Construction. Application shall be made to the Orange County Environmental Protection Division.
- 5) No amplified sound on Spring Lake.
- 6) Lighting shall comply with the Orange County Lighting Ordinance (2003-08).
- 7) Landscaping shall comply with Chapter 24.
- 8) Stormwater Management Areas will continue to handle stormwater from developed sites to the south.
- 9) In accordance with Section 38-122, any variations from county code minimum standards represented on this plan that have not been expressly approved by the BCC are invalid.
- 10) Stormwater management shall be in compliance with Orange County Code and the requirements of the local VMD.
- 11) Existing drainage easements shall be removed.

Utility Providers

Water Orlando Utilities Commission

Wastewater Orange County

Electric Duke Energy

Stormwater	On site retention/detention system to be designed in accordance with Orange County and South Florida Water Management District Criteria
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School Population:

92 (325Du x 0.281 students/Du)

A Capacity Enhancement Agreement (CEA) has been approved by the OCPS school board.

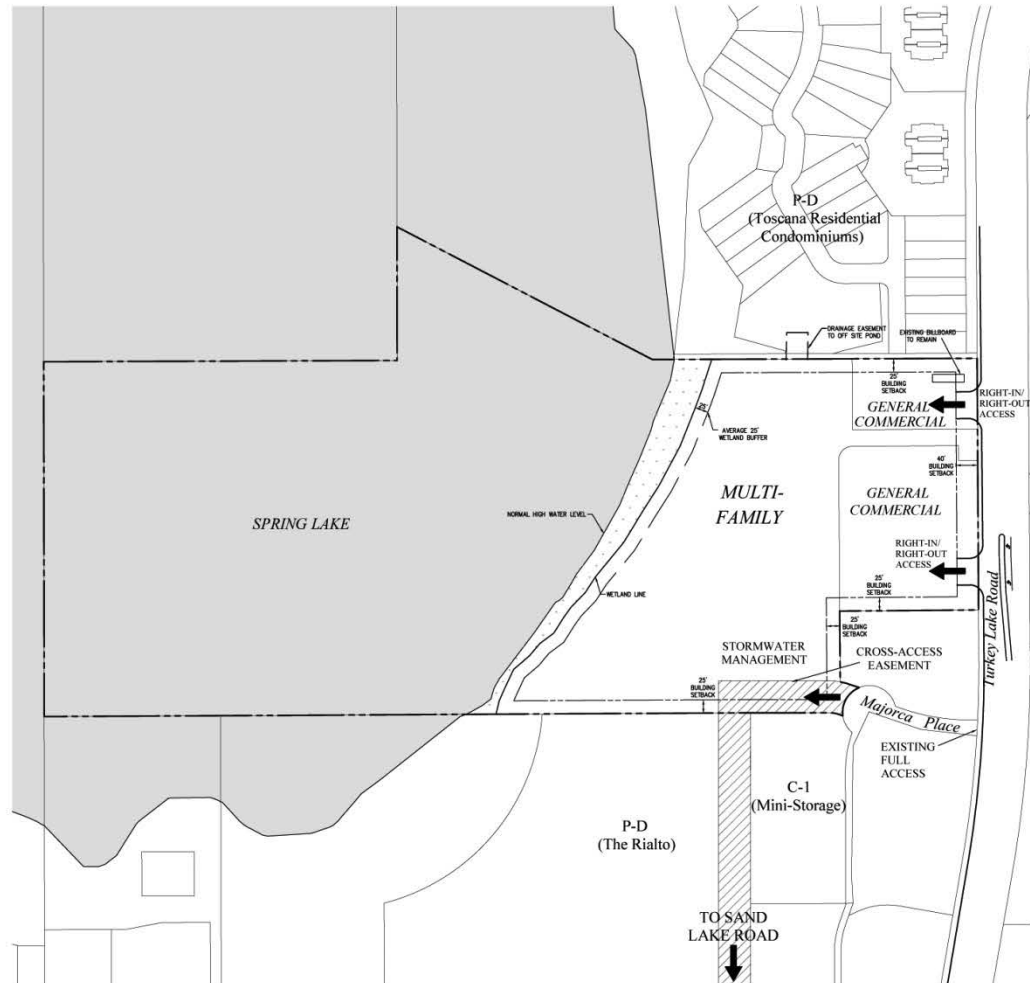
Trip Generation:

Land Use		Size	Unit	ITE Code	Daily Trips	Total	In	Out
Proposed	Office	33,360	SF	710	570	116	20	96
	Multi Family	325	DU	220	2,093	196	127	69
	Retail	50,000	SF	820	4,328	377	181	196
	Internal Capture				6,991	689	328	361
					1,090	102	51	51
	Retail Pass-By Capture				5,901	587	277	310
					1,668	144	72	72
	Office Pass-By Capture				35	8	4	4
	TOTAL TRIPS				4,197	435	201	234

LAND USE CONVERSION TABLE				
LAND USE	TRIPS	1,000 SF OFFICE	1 MULTI-FAMILY UNIT	1,000 SF COMMERCIAL
OFFICE	3.48/1,000 SF	-	172 SF	2,167 SF
MULTI-FAMILY	0.80/DU	5.8 DU	-	12.6 DU
COMMERCIAL	7.54/1,000 SF	462 SF	80 SF	

* If required to change trip rates, approved land use criteria shall remain the same and total number of trips will be adjusted accordingly as a non-substantial change.

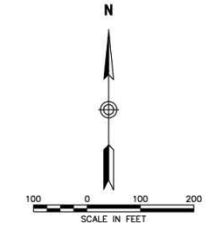
* If required to change trip rates, approved land use criteria shall remain the same and total number of trips will be adjusted accordingly as a non-substantial change.



Orange County Code Waiver Requests

1. A waiver from Section 38-1258(a) is requested to allow a building height of eighty-five (85) feet and five (5) stories to be located within twenty-five (25) feet of single-family residential in lieu of single story in height for multi-family buildings located within one hundred (100) feet of single-family zoned property.
2. A waiver from Section 38-1258(b) is requested to allow a maximum building height of eighty-five (85) feet and five (5) stories for 100% of the multi-family buildings located between one hundred (100) feet and one hundred fifty (150) feet from single family residential in height, in lieu of heights with a maximum of 50% of the multi-family buildings being a maximum of three (3) stories and forty (40) feet and the remaining buildings being one (1) or two (2) stories.
3. A waiver from Section 38-1258(c) is requested to allow a maximum building height of eighty-five (85) feet and five (5) stories for multi-family buildings located within one hundred and fifty (150) feet in lieu of three (3) stories forty (40) feet in height.

4. A waiver from Section 38-125(b) is requested to allow a maximum building height of eighty-five (85) feet and five (5) stories in lieu of forty (40) feet and three (3) stories for multi-family residential.
Justification (waivers 1-4): The project is being developed identical to The Rialto PD development to the south. The additional height is needed to match the existing multi-family development.
5. A waiver from Section 38-125(b) is requested to allow paved areas for multi-family development be located seven (7) feet from any single family zoned property in lieu of twenty-five (25) feet.
Justification: The proposed paving area adjacent to Toscana is specifically for fire department access only.
6. A waiver from Section 38-125(b) is requested to require no wall when multi-family development is located adjacent to any single family zoned property.
Justification: The existing Toscana development includes a wall along the northern boundary of lot 3 of the Majorca PD, and therefore an additional wall is not needed.



Majorca PD

Orange County, Florida

[illegible]

Not Approved for Construction

Land Use Plan

Drawing Number

C002

Year	at
3	5

Project Number
61979.00



Amendment 2016-2-C-1-1

Staff Recommendation: ADOPT

LPA Recommendation: DO NOT ADOPT

Action Requested

- **Make a finding of consistency with the Comprehensive Plan (see Future Land Use Element Goal FLU2, Objectives FLU2.1 and FLU8.2, and Policies FLU1.1.1, FLU1.1.5, FLU8.2.1, and FLU8.2.2; and Housing Element Goal H1 and Objective H1.1);**
- **Determine that the proposed amendment is in compliance; and**
- **Adopt Amendment 2016-2-C-1-1, Commercial (C) to High Density Residential (HDR)**



CDR-16-08-297

DRC Recommendation: APPROVE

Action Requested

- **Make a finding of consistency with the Comprehensive Plan and APPROVE the Substantial Change to the Majorca Planned Development/Land Use Plan (PD/LUP), subject to the fifteen (15) conditions listed in the staff report.**



Small-Scale Development Ordinance

Action Requested

Make a finding of consistency with the Comprehensive Plan, determine that the amendment is in compliance, and adopt the Ordinance, consistent with today's actions, approving the proposed Future Land Use Map Amendment.



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