

2016-2 Privately-Initiated Out-of-Cycle Small-Scale Development Amendment

and

Concurrent Substantial Change Request

Adoption Public Hearing

October 4, 2016



Community Meeting

September 13, 2016

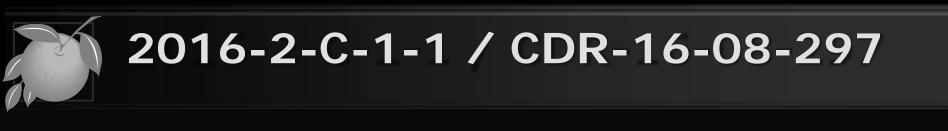
Adoption public hearings

LPA – September 15, 2016

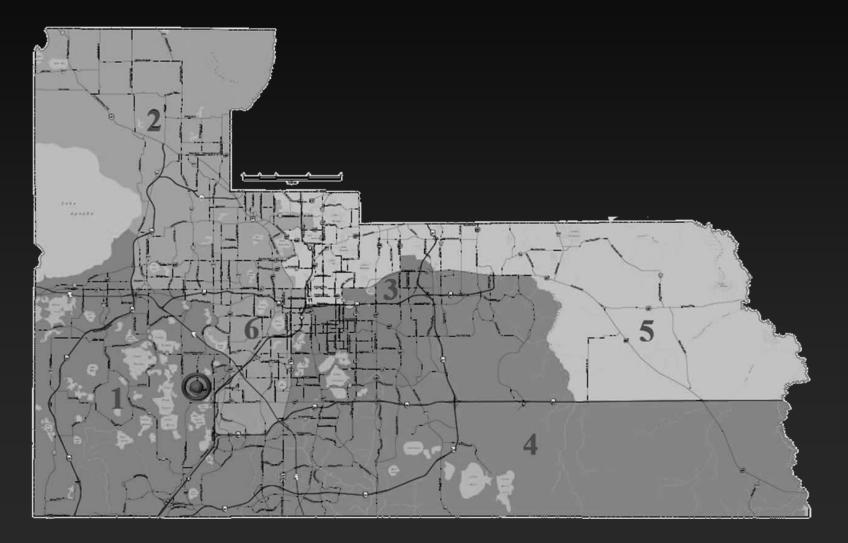
BCC – October 4, 2016

Amendment 2016-2-C-1-1 Substantial Change CDR-16-08-297

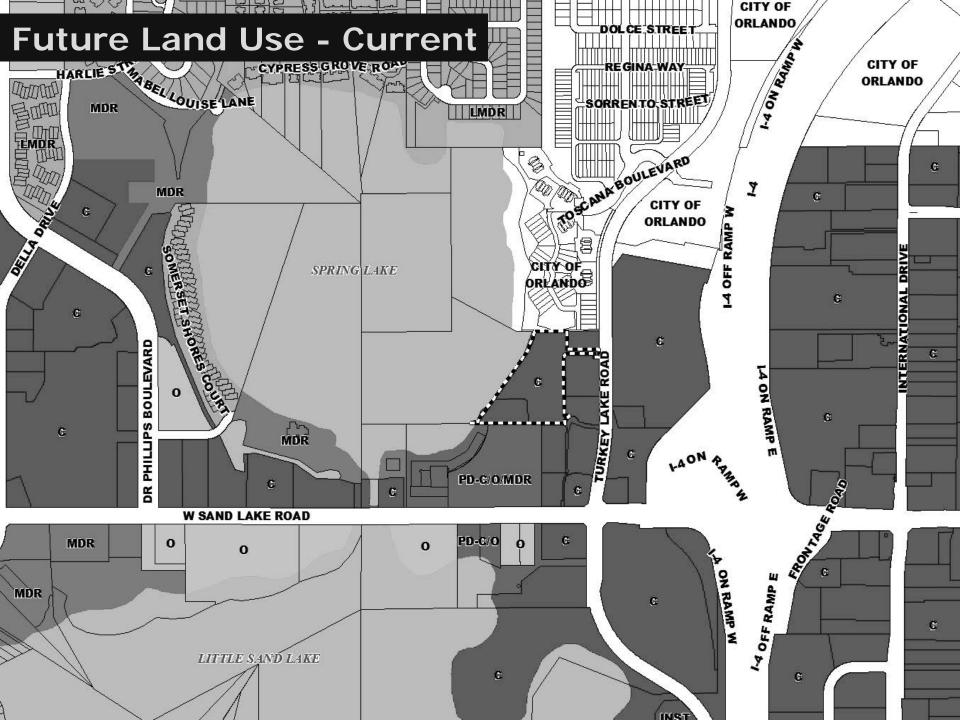
- Agent: Jim Hall, VHB, Inc.
- Owner: WPFF Majorca Land Investor, LLC
- Request: Commercial (C) to High Density Residential (HDR)
- Acreage: 6.5 gross/net developable acres
- Proposed Up to 325 multi-family dwelling units Use:

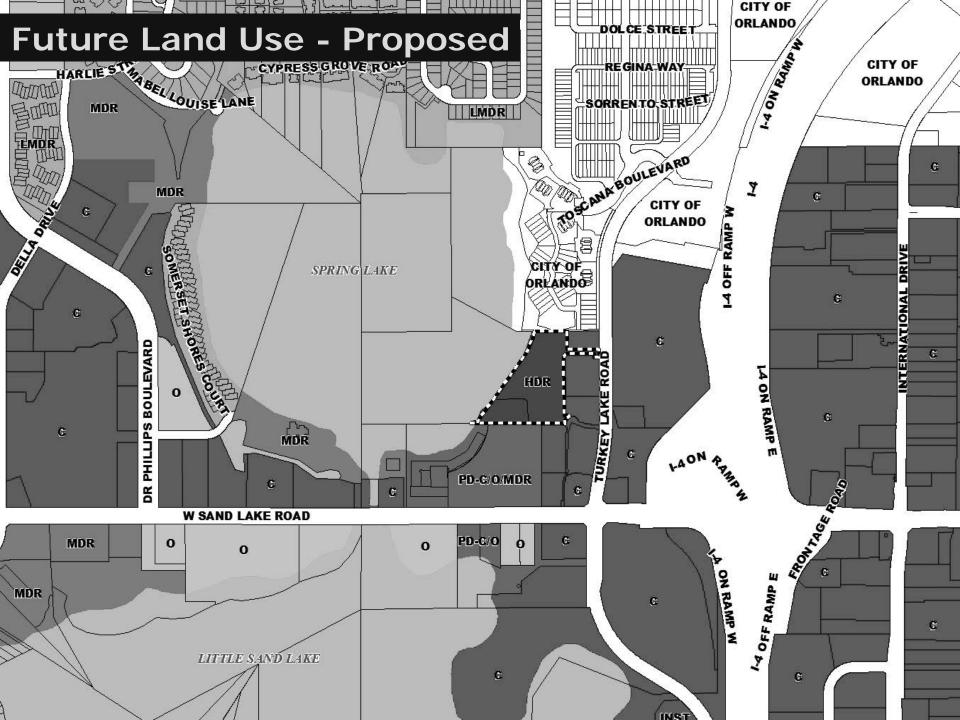


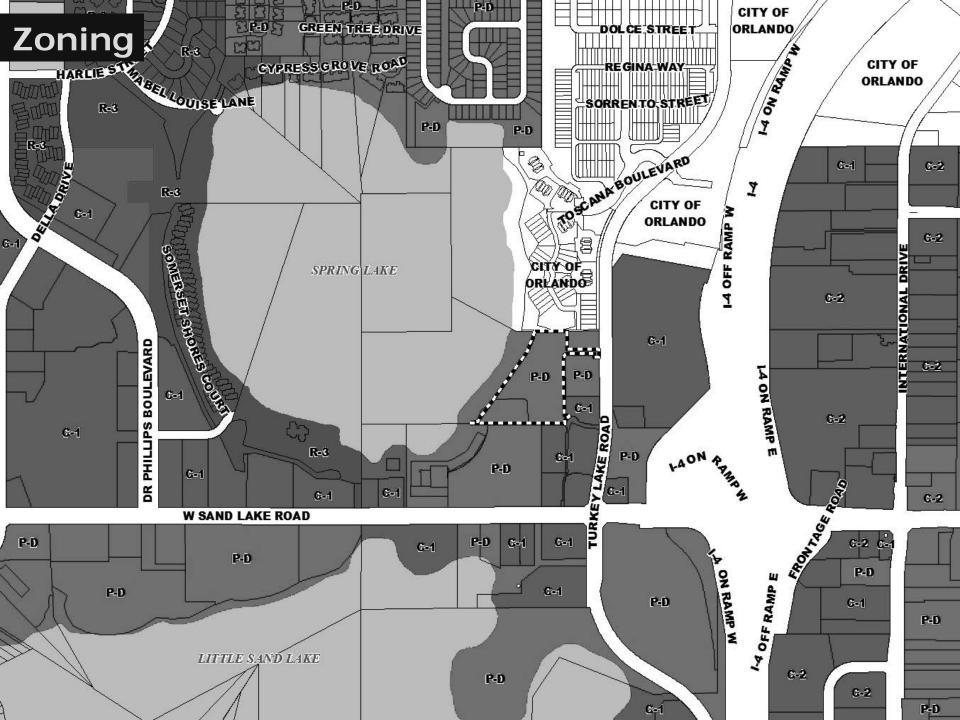
Location





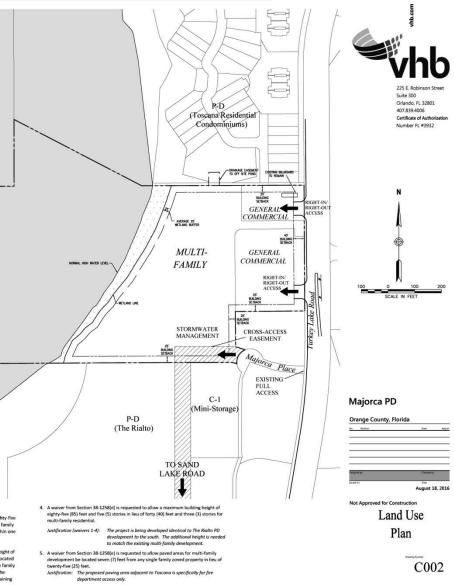






Majorca PD Land Use Plan

\61979.00 Wood Portners-Majo	rea PD\cad\up\P0\August 20	16\61979-Land Use F	Plan.awg						
SITE DATUM	26.81 acres								
Total Acreage: Approx: Wetland Spring Lake: Net Developable:	Area: 0.71 acres 16.9 acres 9.2 acres								
Current Future Land U Proposed Future Land Current Zoning: Proposed Zoning:	se: Commercial Use: High Density Re: Planned Develop Planned Develop	sidential/Commerc pment (PD) pment (PD)	ial						
Development Program Multi-family: Retail: Office:	325 DU 50,000 SF 33,360 SF								
Phasing:	Single-Phase								
Permitted Uses:		shall include all use	is permitted in the C	-1 zoning district and multi-family	uses.				
Development Stand	ards								
		mercial	Multi-Family	L.					
Density/Intensity: Maximum Building Hei Minimum Living Area:	0.21 I ght: 35 fee N/A	FAR et	50 Du/ac 85 feet/5-sto 750 sf	pries					
Open Space: Required Provided*	1.8 ac	minimum c	25% minimu 2.3 ac						
	imum required, 6,098 square fe	set of Lot 3 shall remai	n open space for Lot 2 p	rervious area requirement.					
Max. Impervious Surfa	ce Ratio: 70%								
Building Setbacks: PUD Boundary Lake Setback Turkey Lake Re	25 fee 50 fee bad 40 fee	et from NHWE	25 feet 50 feet from 50 feet	NHWE					
Paving Setback:	1210 2000 -		<u>te</u> rent i						
Adjacent Prope Turkey Lake Ro ROW			7 feet 7 feet 7 feet						
Building Separation:	N/A		20 feet						
General Notes							SP	RING LAKE	
construction of a bi or floating structure installation, as spec	bat dock, boardwalk, obser is in the lake. Any person o bified in Orange County Co	rvation pier, fishing desiring to construe ode Chapter 15, Ar	pier, community pie	constitute approval of a permit fr ar, or any other similar permanen- tures shall first apply for a permi- uction. Application shall be made	ly fixed				
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6. A waiver from Section 38-1258(f) is requested to require no wall when multi-family development is located adjacent to any single family zoned property.

Justification: The existing Toscana development includes a wall along the northern boundary of lot 3 of the Majorca PD, and therefore an additional wall is not needed.

3 5 61979.00

Amendment 2016-2-C-1-1

Staff Recommendation:ADOPTLPA Recommendation:DO NOT ADOPTAction Requested

- Make a finding of consistency with the Comprehensive Plan (see Future Land Use Element Goal FLU2, Objectives FLU2.1 and FLU8.2, and Policies FLU1.1.1, FLU1.1.5, FLU8.2.1, and FLU8.2.2; and Housing Element Goal H1 and Objective H1.1);
- Determine that the proposed amendment is in compliance; and
- Adopt Amendment 2016-2-C-1-1, Commercial (C) to High Density Residential (HDR)



CDR-16-08-297

DRC Recommendation: APPROVE

Action Requested

 Make a finding of consistency with the Comprehensive Plan and APPROVE the Substantial Change to the Majorca Planned Development/Land Use Plan (PD/LUP), subject to the fifteen (15) conditions listed in the staff report.



Small-Scale Development Ordinance

Action Requested

Make a finding of consistency with the Comprehensive Plan, determine that the amendment is in compliance, and adopt the Ordinance, consistent with today's actions, approving the proposed Future Land Use Map Amendment.



2016-2 Privately-Initiated Out-of-Cycle Small-Scale Development Amendment

and

Concurrent Substantial Change Request

Adoption Public Hearing

October 4, 2016