




Interoffice Memorandum

No Advertising required by Clerk's Office
No Abutter Notices sent by Clerk's Office

October 27, 2021

To: Katie Smith, Manager
Comptroller Clerk's Office

Through: Cheryl Gillespie, Agenda Development Supervisor
Agenda Development

From: David D. Jones, P.E., CEP, Manager
Environmental Protection Division
(407) 836-1406 

**Staff Person: Elizabeth R. Johnson, CEP, Assistant Manager
Environmental Protection Division
(407) 836-1511**

Subject: Request for Public Hearing on November 30, 2021 at 2:00 p.m., for a Conservation Area Impact Permit Application (CAI-21-08-055) for wetland and surface water impacts associated with an access road to a proposed multi-family residential development known as Durham Place Apartments located at 5215 S. Orange Blossom Trail, Orlando, FL 32839, Parcel ID No. 15-23-29-0000-00-020, District 3

=====

Applicant: Lake Bumby Properties

Type of Hearing: Conservation Area Impact Permit Application

Hearing required by
Florida Statute # or Code: Orange County Comprehensive Plan

Advertising requirements: None

Advertising timeframes: N/A

Abutters to be notified: The applicant and agent will be notified at least seven days prior to the hearing by the Environmental Protection Division (EPD). Notification of abutters is not necessary.

Estimated time required
For public hearing: 2 minutes

October 27, 2021

Request for Public Hearing on November 30, 2021 for Conservation Area Impact Permit Application for Lake Bumby Properties – Durham Place Apartments Project (CAI-21-08-055)

Municipality or other
Public Agency to be
notified:

St. Johns River Water Management District,
Marc von Canal, mvoncana@sjrwmd.com

Hearing Controversial: No

District #: 3

Materials being submitted as backup for public hearing request:

1. Site Plan
2. Location Map

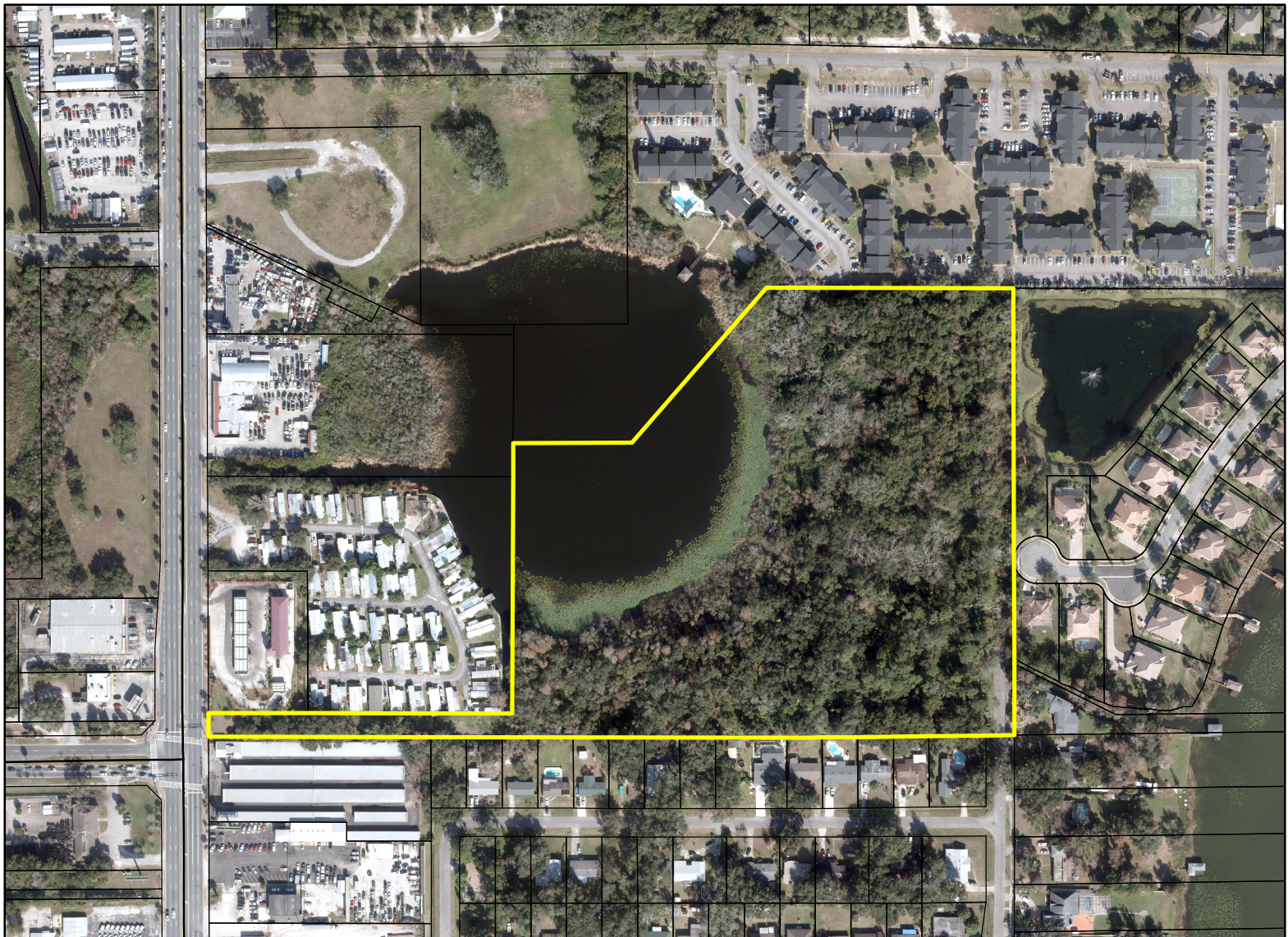
Special Instructions to Clerk:

1. Once the Board of County Commissioners makes a decision on the Conservation Area Impact Permit Application, please submit the decision letter to Liz Johnson with EPD. EPD will issue the decision to the applicant.

JR/NT/TMH/ERJ/DJ: jk

Attachments

Conservation Area Impact Permit Application



Conservation Area Impact Permit
CAI-21-08-055
District #3

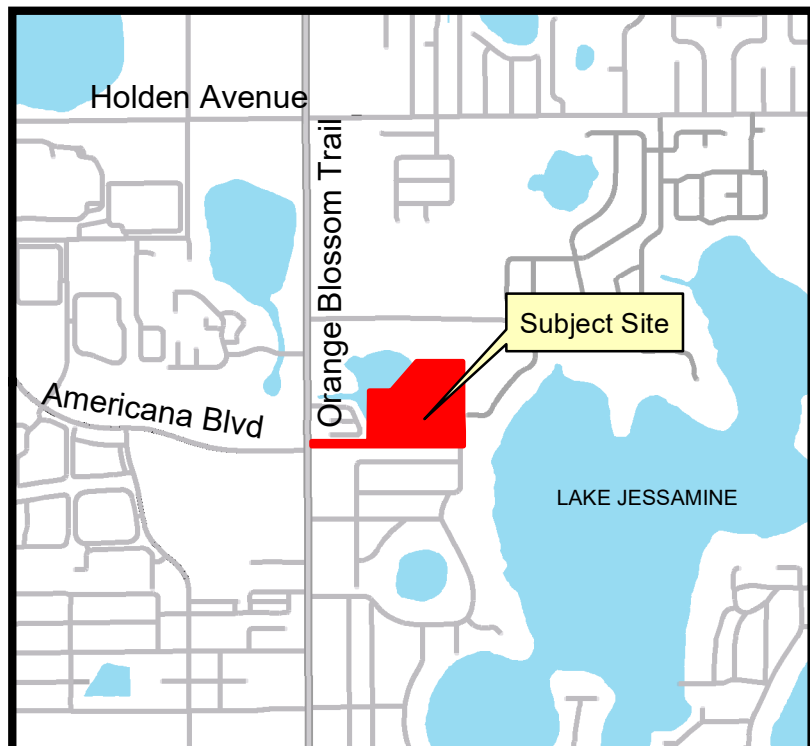
Applicant: Lake Bumby Properties

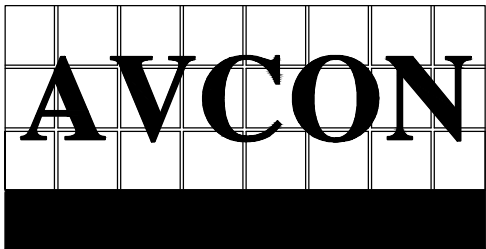
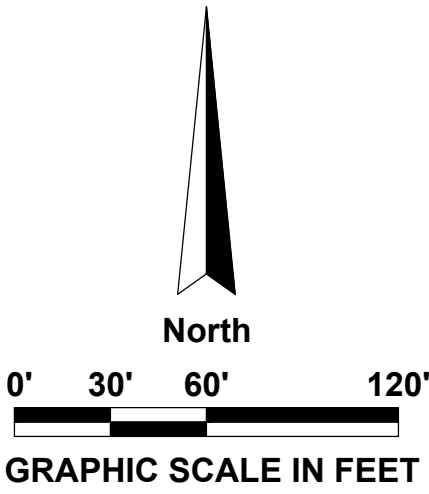
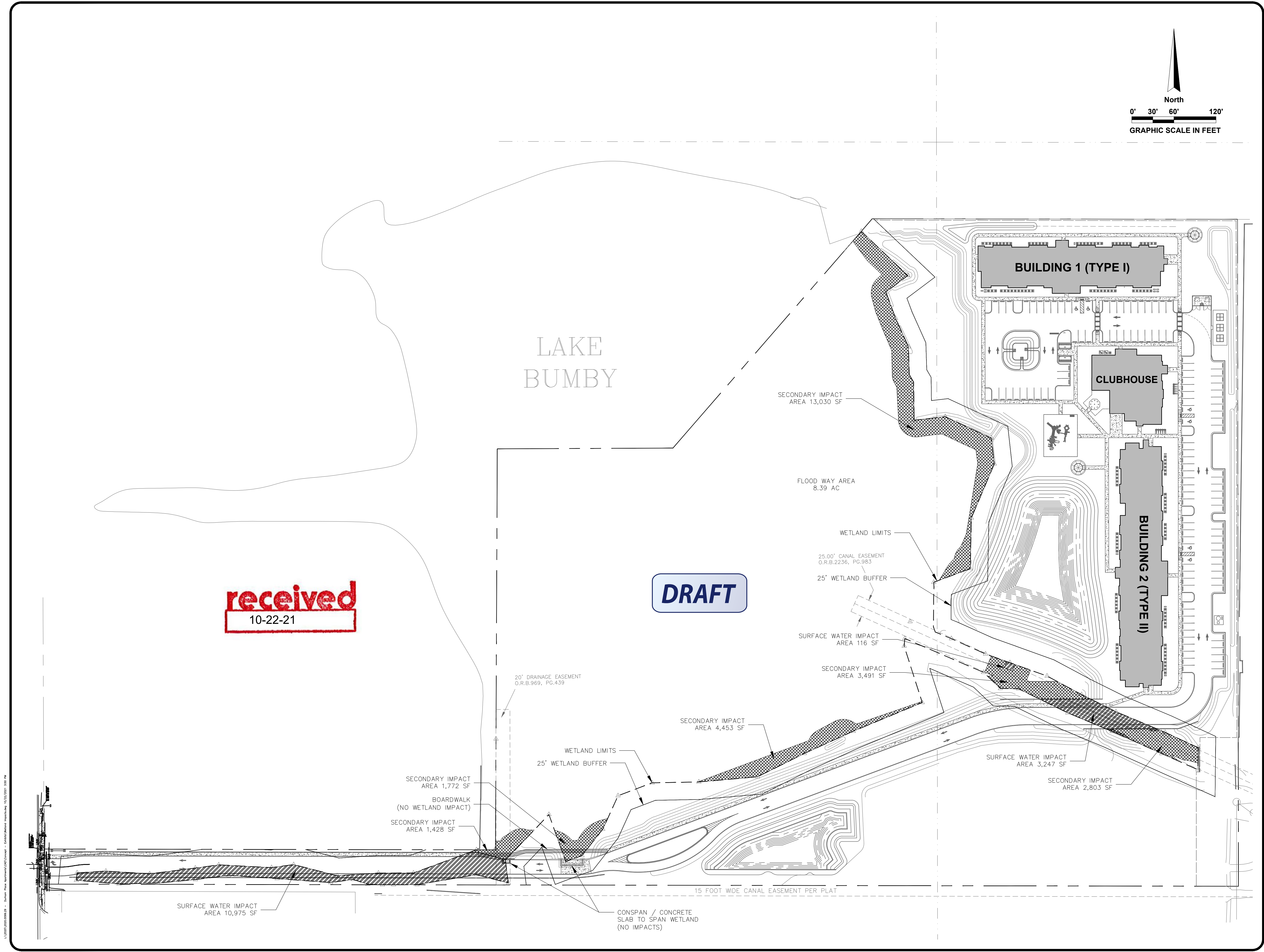
Parcel ID No.: 15-23-29-0000-00-020

Project Site



Property Location





AVCON, INC.
ENGINEERS & PLANNERS
5555 E. MICHIGAN ST., SUITE 200 - ORLANDO, FL 32822-2779
OFFICE: (407) 599-1125 - FAX: (407) 599-1133
CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 5057
www.avconinc.com

ALDO E. MEJIAS, P.E.
FL P.E. #78019

CONCEPTS AND
EXHIBITS

DURHAM PLACE
APARTMENTS

WETLAND IMPACTS

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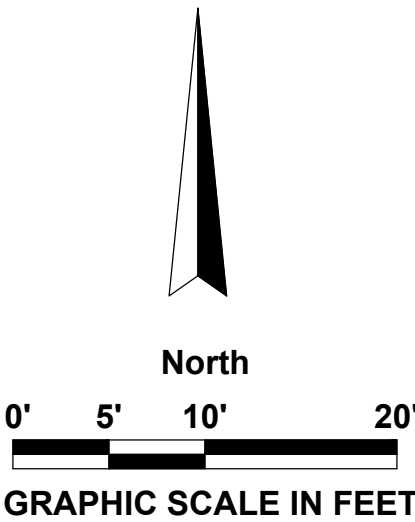
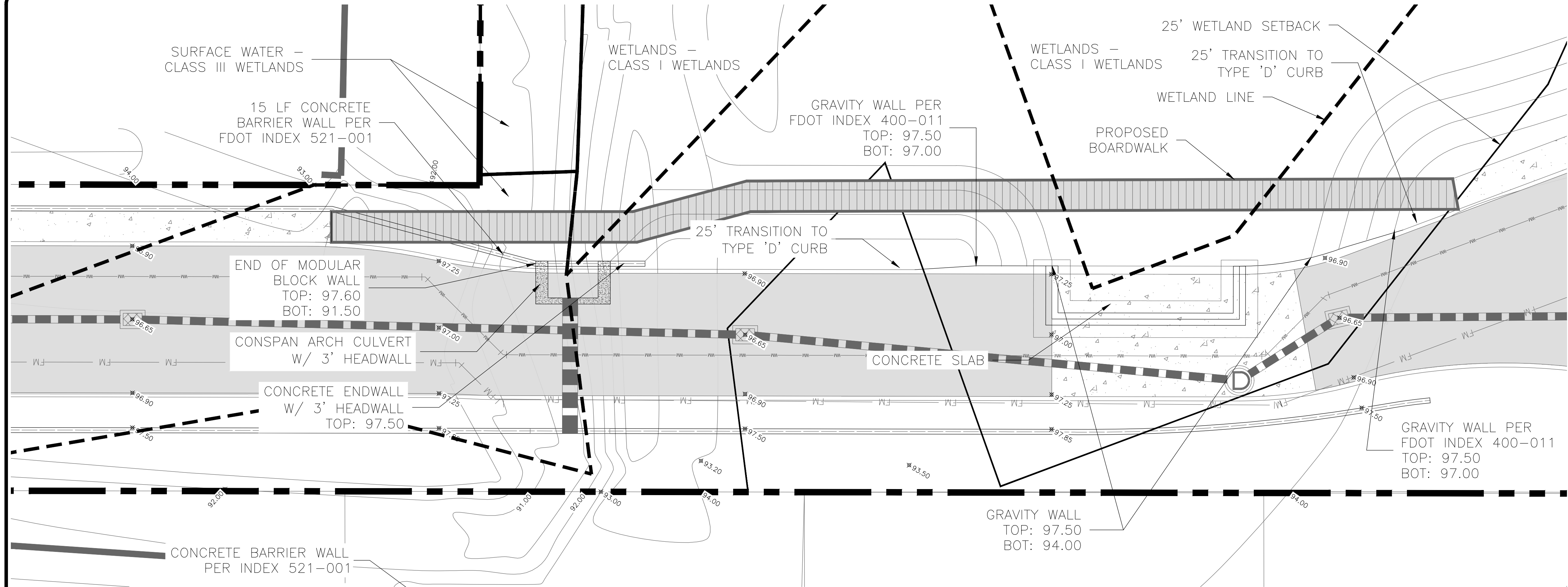
SCALE:

REVISIONS:

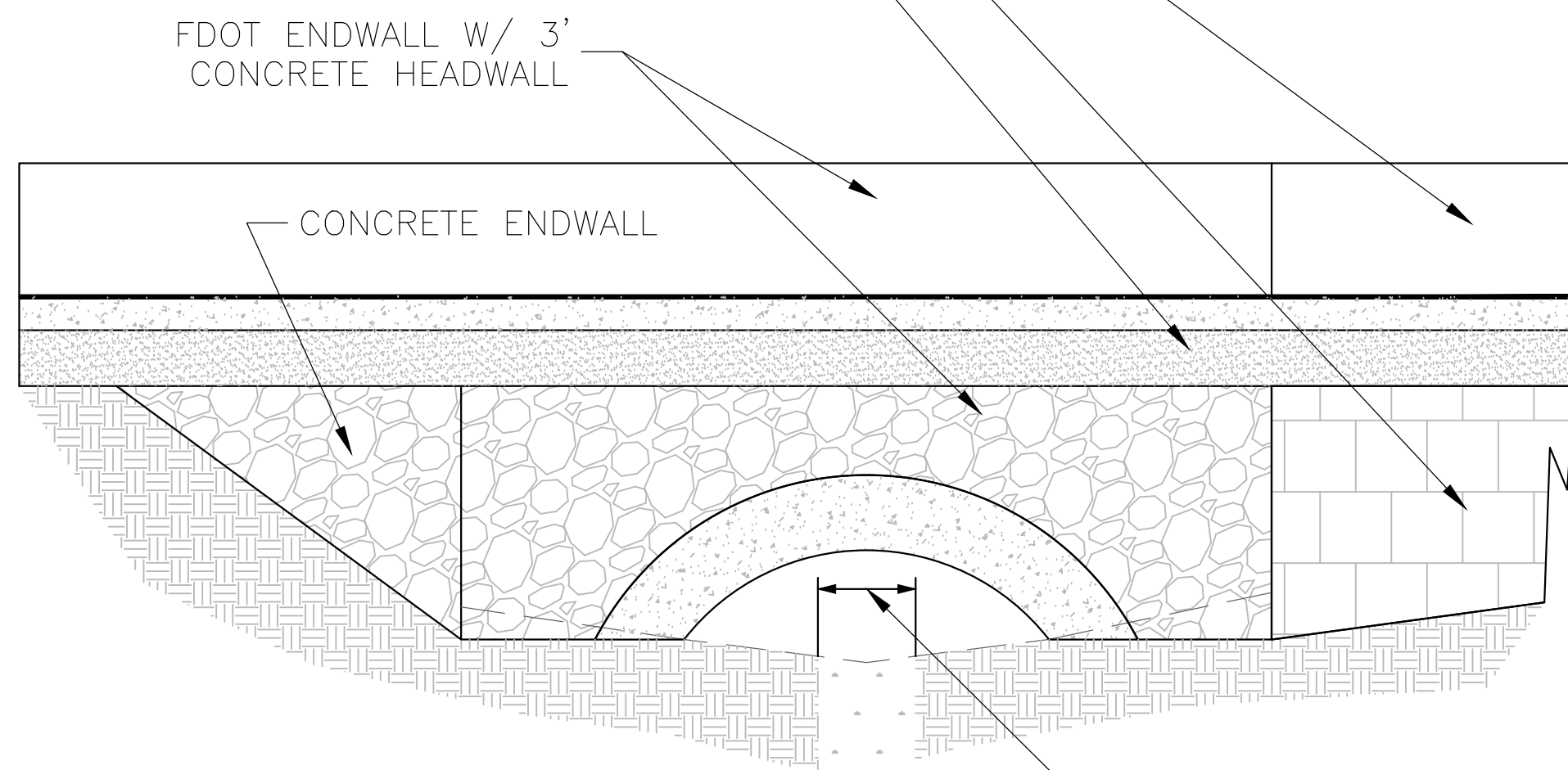
NO.	DATE	BY	DESCRIPTION

DESIGNED BY: RVB
DRAWN BY: AEM
CHECKED BY: AEM
APPROVED BY: RVB
DATE: 08-27-21

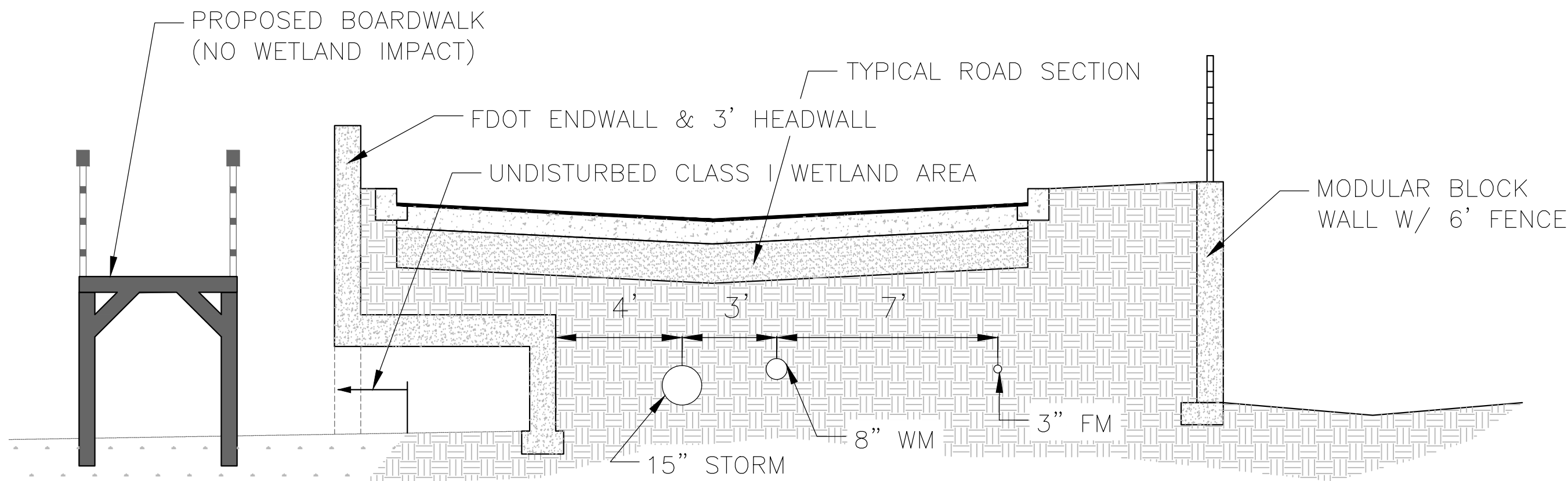
AVCON PROJECT No. 2020.0099.29



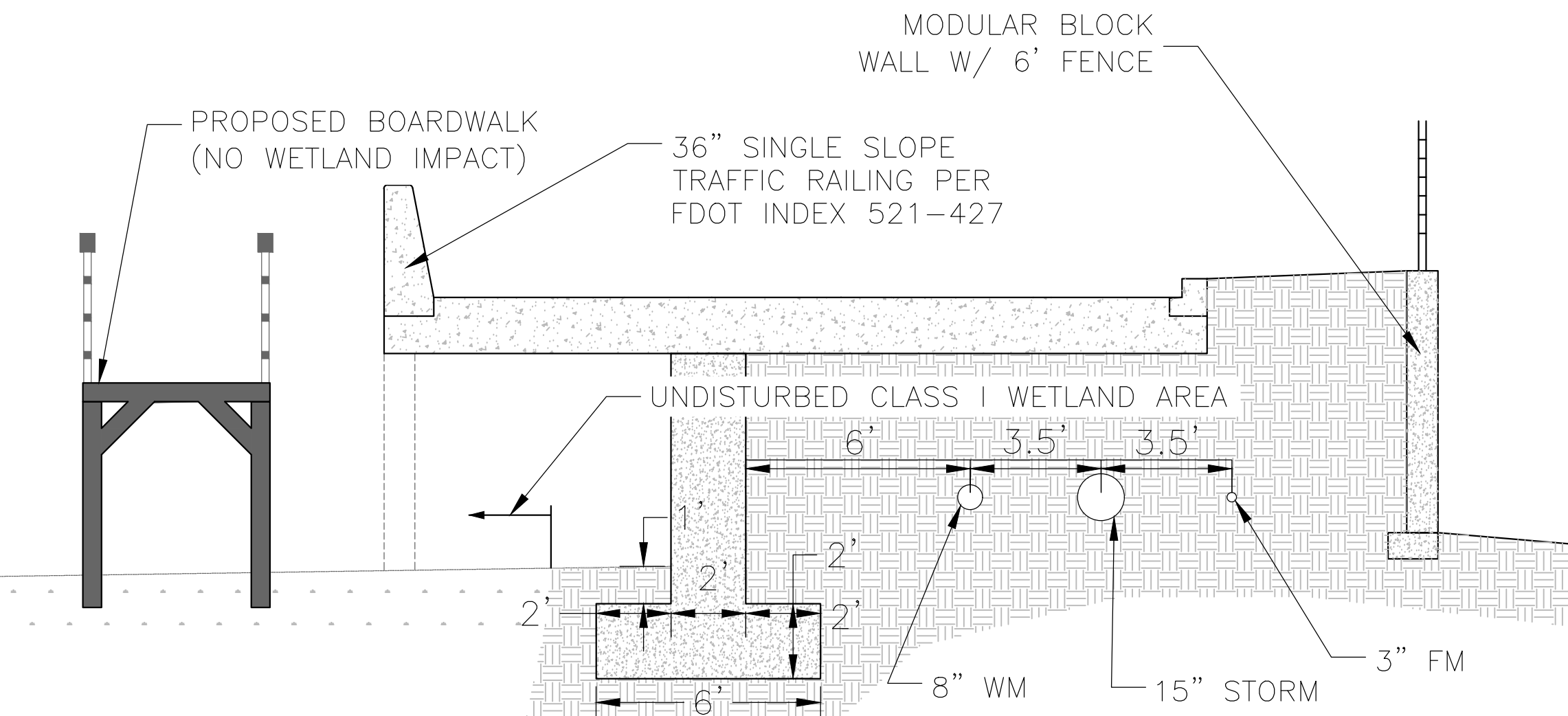
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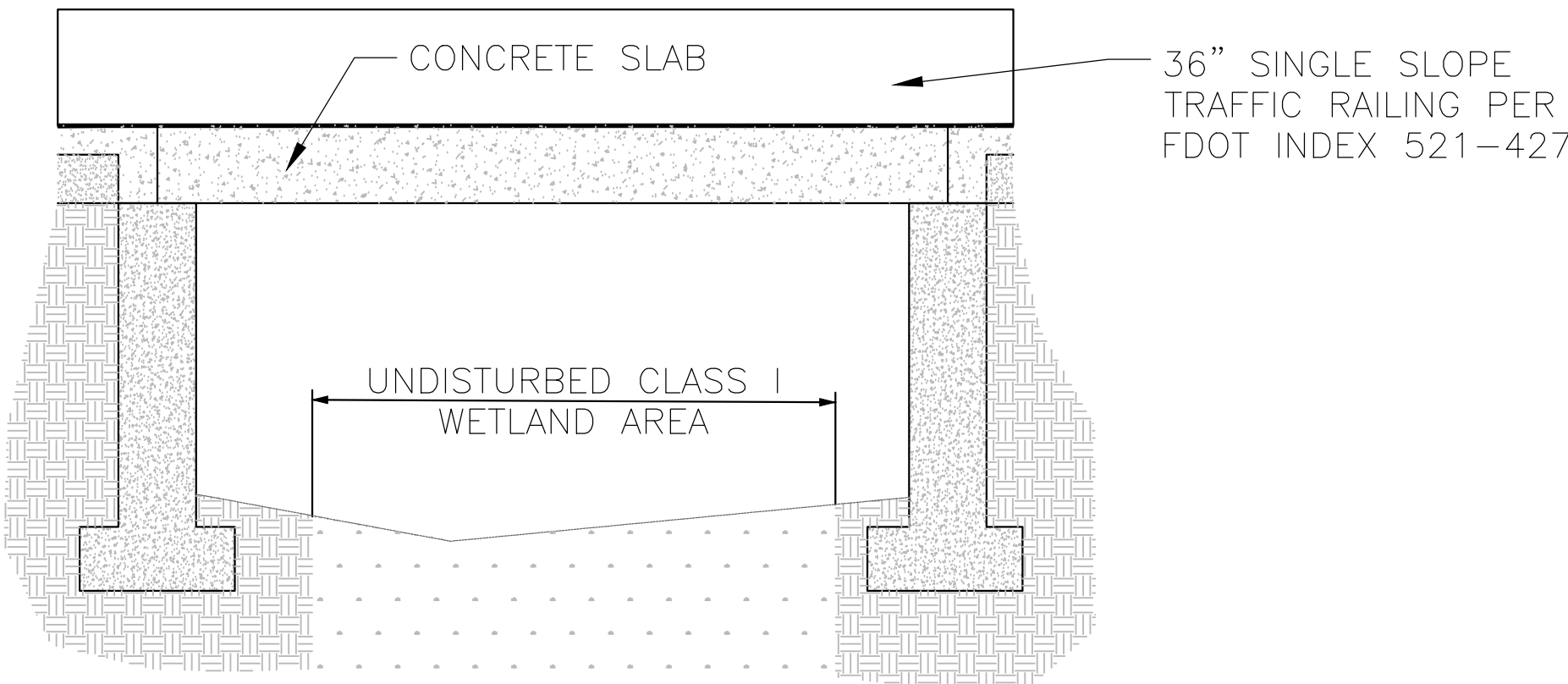
CONSPAN - PROFILE



CONSPAN - CROSS SECTION

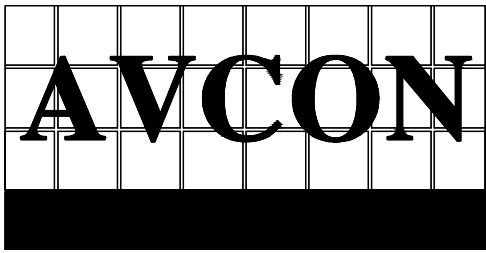


CROSSING 2 - CROSS SECTION



CROSSING 2 PROFILE

received
10-22-21



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CONSTRUCTION PLANS

DURHAM PLACE APARTMENTS

ENTRANCE ROAD DETAILS

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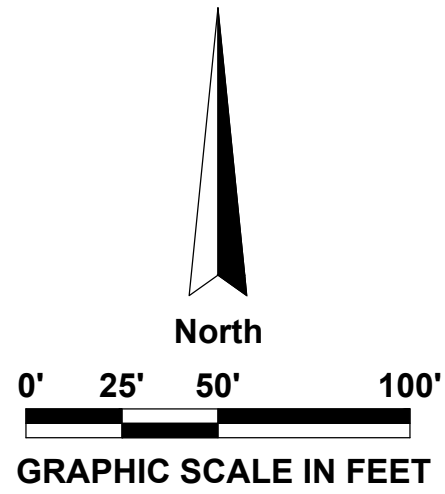
REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	08/13/21		ORANGE COUNTY RA#2

DESIGNED BY: RVB
DRAWN BY: AEM
CHECKED BY: AEM
APPROVED BY: RVB
DATE: 08-13-21

AVCON PROJECT No. 2020.0099.29

C-511



NOTES:

1. SEE LANDSCAPE PLANS FOR TREE REMOVAL.
2. SEE SHEET C-608 (UNDERGROUND INVESTIGATION) FOR EXISTING UTILITIES ON SOUTH ORANGE BLOSSOM TRAIL.

MATCH LINE A
(SEE THIS SHEET)

DEMOLITION NOTES:

1. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
2. THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY.
3. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
4. ALL DEBRIS AND WASTE MATERIALS GENERATED BY DEMOLITION OR SUBSEQUENT CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED FOR DEMOLITION, CONSTRUCTION WORK AND HAULING WASTE MATERIAL. ALL ASSOCIATED COSTS AND PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ASPHALT RESURFACING TO ALL EXISTING ROADS WHICH ARE SAW-CUT OR DAMAGED DURING CONSTRUCTION. ALL REPAIRS TO BE MADE IN ACCORDANCE WITH ORANGE COUNTY REQUIREMENTS.
- 6.
7. ANY ENCOUNTERED CONTAMINATED MATERIALS SHALL BE DISPOSED OF IN A MANNER APPROVED BY THE ENGINEER IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
8. THE CONTRACTOR IS ADVISED THAT UNCHARTED UTILITIES MAY BE FOUND TO EXIST WITHIN THE CONSTRUCTION AREA AND THAT CONSTRUCTION OPERATIONS SHOULD BE CONDUCTED WITH CAUTION.
9. ANY MISCELLANEOUS GARBAGE, YARD WASTE AND CONSTRUCTION DEBRIS PRESENTLY ON-SITE DUE TO ILLEGAL DUMPING SHALL BE DISPOSED OF OFF-SITE ACCORDING TO THE SOLID WASTE AND HAZARDOUS WASTE REGULATIONS. USE CAUTION IF ANY HAZARDOUS WASTE IS PRESENT.
10. EXISTING IRRIGATION SYSTEMS ADJACENT TO CONSTRUCTION ACTIVITIES SHALL BE PROTECTED. ANY IRRIGATION SYSTEM COMPONENTS REMOVED DUE TO CONSTRUCTION ACTIVITIES SHALL BE RESTORED AS QUICKLY AS POSSIBLE.
11. ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
12. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY OWNER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
13. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
14. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
14. ALL ASPHALT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
15. EXISTING SITE FEATURES LOCATED WITHIN THE AREA OF DEMOLITION IDENTIFIED TO REMAIN SHALL BE PROTECTED DURING THE COURSE OF CONSTRUCTION; FEATURES AFFECTED BY GRADING SHALL BE ADJUSTED TO MEET DESIGN GRADES.
16. SEE EROSION CONTROL PLAN FOR REMAINING INLET PROTECTION AND EROSION PREVENTION.
17. AT THE END OF EACH WORK PERIOD, ANY DROP-OFF IN THE AREA ADJACENT TO THE TRAVEL WAY OF ABUTTING ROADS SHALL BE BACK FILLED IN ACCORDANCE WITH FOOT STANDARDS OR SHALL BE OTHERWISE PROTECTED WITH TEMPORARY BARRIER WALL AT THE CONTRACTOR EXPENSE.
18. THE CONTRACTOR SHALL ENSURE THAT THE MAINTENANCE OF TRAFFIC FOR THE PROJECT CONFORMS WITH FOOT STANDARDS FOR WORK BEING PERFORMED. ACCESS TO ADJACENT PROPERTIES TO BE MAINTAINED DURING CONSTRUCTION.
19. CONTRACTOR SHALL COORDINATE DEMOLITION WITH CONSTRUCTION OF IMPROVEMENTS WITHIN THE ROAD RIGHT-OF-WAY TO MINIMIZE TRAFFIC DISRUPTION.
20. CONTRACTOR TO COORDINATE WITH ALL UTILITY OWNERS PRIOR TO REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES. ALL EXISTING UTILITY CONNECTIONS TO BE DISCONNECTED AND REMOVED TO SERVICE POINT OR METER UNLESS NOTED TO REMAIN. CONTRACTOR IS RESPONSIBLE IN MAINTAINING AND PROTECTING UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED DURING CONSTRUCTION AND SHALL REPAIR SAID DAMAGES AT HIS/HERS EXPENSE.
21. EXISTING SURVEY MONUMENTATION SHALL NOT BE DISTURBED; ANY DISTURBED OR REMOVED MONUMENTATION SHALL BE REPLACED BY A REGISTERED SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
22. CLEAR AND GRUB ALL DISTURBED AREAS PRIOR TO CONSTRUCTION.
23. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SERVICE/LATERAL LOCATIONS. ANY EXISTING SERVICE/LATERAL NOT USED OR LOCATED MORE THAN 5' FROM OUTSIDE OF LOT LINE SHALL BE REMOVED AND, IF NEEDED, REPLACED WITH NEW SERVICE/LATERAL.
24. FOR UTILITY SERVICES TO BE REMOVED, CONTRACTOR SHALL CUT SERVICE AND CAP AT UTILITY MAIN FOR WATER AND RECLAIMED WATER SERVICES. SERVICE LINE SHALL BE CUT DIRECTLY BEHIND THE CURB ON BOTH SIDES OF THE STREET AND FILLED WITH GROUT. FOR WASTEWATER LATERALS, CONTRACTOR SHALL REMOVE ENTIRE LATERAL UP TO THE MAIN AND PROVIDE A CAP AT THE WYE.
25. OCU INSPECTOR SHALL BE PRESENT FOR ALL SERVICE/LATERAL REMOVAL OR RELOCATIONS.
26. PRIOR TO DEMOLITION/CONSTRUCTION ACTIVITIES PROVIDE ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION (EPD) WITH NOTICE OF ASBESTOS RENOVATION OR DEMOLITION FORM. FOR MORE INFORMATION CONTACT JOHN PARKER AT EPD (407) 836-1400.

27. IF PREHISTORIC OR HISTORIC ARTIFACTS, SUCH AS POTTERY OR CERAMICS, PROJECTILE POINTS, DUGOUT CANDLES, METAL IMPLEMENTS, HISTORIC BUILDING MATERIALS, OR ANY OTHER PHYSICAL REMAINS THAT COULD BE ASSOCIATED WITH NATIVE AMERICAN, EARLY EUROPEAN, OR AMERICAN SETTLEMENT ARE ENCOUNTERED AT ANY TIME WITHIN THE PROJECT SITE AREA, THE PERMITTED PROJECT SHALL CEASE ALL ACTIVITIES INVOLVING SUBSURFACE DISTURBANCE IN THE VICINITY OF THE DISCOVERY. THE APPLICANT SHALL CONTACT THE FLORIDA DEPARTMENT OF STATE, DIVISION OF HISTORICAL RESOURCES, COMPLIANCE REVIEW SECTION AT (850)-245-6333. PROJECT ACTIVITIES SHALL NOT RESUME WITHOUT VERBAL AND/OR WRITTEN AUTHORIZATION. IN THE EVENT THAT UNMARKED HUMAN REMAINS ARE ENCOUNTERED DURING PERMITTED ACTIVITIES, ALL WORK SHALL STOP IMMEDIATELY AND THE PROPER AUTHORITIES NOTIFIED IN ACCORDANCE WITH SECTION 872.05, FLORIDA STATUTES.

- EXISTING SIDEWALK AND TYPE "F" CURB TO BE REMOVED AND REPLACED FOR NEW INLET AND DRIVEWAY CONSTRUCTION
- EXISTING CONCRETE PAD (TO REMAIN)
- EXISTING TRANSFORMERS (TO REMAIN)
- EXISTING TREE (TO REMAIN)
- EXISTING SIDEWALK (TO REMAIN)
- U.S. HWY No. 17-92-441 (ORANGE BLOSSOM TRAIL)
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE (SEE SHEET C201 FOR DETAIL)
- EXISTING RED LIGHT RUNNING POLE TO BE RELOCATED. COORDINATE RELOCATION WITH JERALD MARKS AT ORANGE COUNTY JERALD.MARKS@OCFL.NET
- EXISTING MAST ARM (TO REMAIN)
- EXISTING H/C RAMP (TO REMAIN)
- EXISTING VALVE TO REMAIN
- EXISTING UTILITY BOXES (TO REMAIN)
- EXISTING TREE TO BE REMOVED
- EXISTING SANITARY MANHOLE (TO REMAIN)
- EXISTING STORM MANHOLE (TO REMAIN)
- EXISTING CURB INLET (TOP TO BE REPLACED. SEE SHEET C-502 & C-505 FOR ADDITIONAL DETAILS)

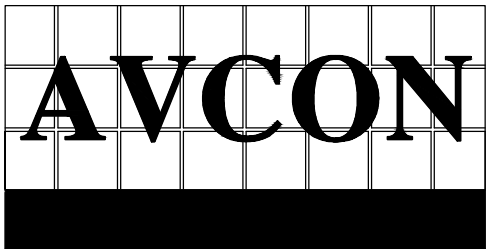
IS FLAGGED BY
ULTING, INC.

received
10-22-21

DRAFT

LEGEND:

- FDOT TYPE III SILT FENCE
- LIMITS OF CLEARING & GRUBBING (REMOVAL OF SITE DEBRIS, CONCRETE, PAVEMENT, WALKS, FENCE, BUILDING, UTILITIES, TREES, ETC) ALL IMPROVEMENTS IN THIS AREA BOTH ABOVE GROUND AND BELOW, SHALL BE REMOVED UNLESS OTHERWISE NOTED ON THESE PLANS.
- ➔ CONSTRUCTION ENTRANCE
- CONSTRUCTION ENTRANCE
- CONSERVATION AREA SIGNAGE (SEE SHEET C-201)



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CONSTRUCTION
PLANS

DURHAM PLACE
APARTMENTS

DEMOLITION & EROSION
CONTROL PLAN

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SCALE:

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	03/22/21		ORANGE COUNTY RA#1
2	08/24/21		BID SET
3	09/17/21		FDOT DRIVEWAY/COUNTY RA#3

DESIGNED BY: RVB
DRAWN BY: AEM
CHECKED BY: AEM
APPROVED BY: RVB
DATE: 09-17-21

AVCON PROJECT No. 2020.0099.29

C-200

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

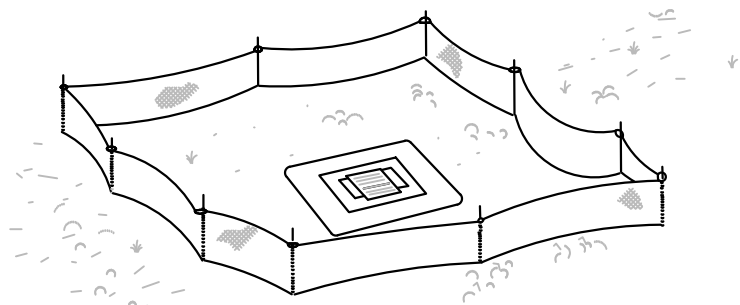
- AN EROSION CONTROL PLAN SHALL BE PREPARED BY THE CONTRACTOR AND APPROVED BY ORANGE COUNTY PRIOR TO SCHEDULING OF PRE-CONSTRUCTION CONFERENCE. THE CONTRACTOR SHALL EXECUTE ALL MEASURES NECESSARY TO LIMIT THE TRANSPORT OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT TO THE VOLUME AND AMOUNT AS ARE EXISTING PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THIS CONDITION WILL BE SATISFIED FOR THE TOTAL ANTICIPATED CONSTRUCTION PERIOD. PROVISION MUST BE MADE TO PRESERVE THE INTEGRITY AND CAPACITY OF CHECK WEIRS, SEDIMENTS BASINS, SLOPE DRAINS, GRADING PATTERNS, ETC. REQUIRED TO MEET THIS PROVISION THROUGHOUT THE LIFE OF THE CONSTRUCTION. CONTRACTOR SHALL PROVIDE SYNTHETIC HAY BALES, TEMPORARY GRASSING ETC. AS REQUIRED TO FULLY COMPLY WITH THE INTENT OF THIS SPECIFICATION.
- STOCKPILING MATERIAL:
NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DRAIN DIRECTLY OFF THE PROJECT SITE OR INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY.
 - EXPPOSED MATERIAL:
THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING, OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 40 ACRES SO LONG AS THIS OPERATION WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.
 - INLET PROTECTION:
THE CONSTRUCTION OF SWALES AND THE STORMWATER COLLECTION SYSTEM SHALL BE PERFORMED PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS. INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
 - TEMPORARY SEEDING:
AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN SEVEN DAYS, SHALL BE SEEDDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING. THE RATE OF SEEDING SHALL BE AS RECOMMENDED BY THE MANUFACTURER.
 - TEMPORARY GRASSING:
SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN 4 ABOVE, SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDDED AREA TO A DEPTH OF FOUR INCHES.
 - TEMPORARY GRASSING:
THE SEEDDED OR SEEDDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED AS REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR COVER.
 - TEMPORARY RE-GRASSING:
IF AFTER FOURTEEN DAYS, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75% COVERAGE, AREAS WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATION COVER.
 - MAINTENANCE:
ALL FEATURES OF THE PROJECT WILL BE CONSTRUCTED TO PREVENT EROSION AND SEDIMENT AND SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION PROPERLY WITHOUT THE TRANSPORT OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT.
 - DUST ABATEMENT:
DUST SHALL BE CONTROLLED WITH USE OF WATER AND CALCIUM CHLORIDE.
 - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE, BUT IN NO CASE MORE THAN 7 DAYS, IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED.

EROSION CONTROL NOTES:

- THE CONSTRUCTION OF SWALES AND THE STORM SEWER SYSTEM SHALL BE PERFORMED PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS.
- INLET OPENINGS SHALL BE COVERED WITH FILTER FABRIC OR SURROUNDED BY SYNTHETIC HAY BALES.
- THE CONTRACTOR SHALL MINIMIZE THE AERIAL EXTENT OF EXPOSED EARTH AT ONE TIME DURING CONSTRUCTION AND UTILIZE WATERING TRUCKS TO WET THE EARTH DURING DRY MONTHS TO MINIMIZE EROSION DUE TO WIND.
- SILT FENCE MUST REMAIN IN PLACE AND BE MAINTAINED IN GOOD CONDITION AT ALL LOCATIONS SHOWN UNTIL CONSTRUCTION IS COMPLETE, SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
- THE EROSION CONTROL MEASURES SHOWN HEREON ARE INTENDED AS MINIMUM STANDARDS. ANY EROSION CONTROL REQUIRED BEYOND THAT SPECIFIED SHALL BE CONSIDERED AS INCLUDED WITHIN THIS CONTRACT.
- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE LOCAL WATER MANAGEMENT DISTRICT AND FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION STANDARDS.
- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
- SEDIMENT MATERIALS FROM WORK ON THIS PROJECT SHALL BE CONTAINED AND NOT ALLOWED TO COLLECT ON ANY OFF-PERIMETER AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, AND PONDS.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION/SEDIMENT CONTROL EFFORTS. ANY NECESSARY REMEDIES SHALL BE PERFORMED WITHOUT DELAY.
- ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC ROADS AND FACILITIES, DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED AND NOT ALLOWED TO REMAIN ON THE ROADWAY OVERNIGHT BY THE CONTRACTOR.
- ALL PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, AND ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS AFTER FINAL GRADING. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
 - PREPARING FDEP NOTICE OF INTENT APPLICATIONS. (NOI & NOT)
 - FDEP NOTICE OF INTENT APPLICATION FEES.
 - PREPARING THE FDEP STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
 - SUBMITTAL OF THE FDEP NOTICE OF INTENTS APPLICATIONS (NOI & NOT)
- THE SUBMITTAL OF THE FDEP NOI MUST BE DONE PRIOR TO COMMENCING WORK FOR THIS PROJECT.
- PRIOR TO EARTH WORK OR CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE A COPY OF THE COMPLETED FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NPDES NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES TO THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL OBTAIN WATER MANAGEMENT DISTRICT PERMITS PRIOR TO COMMENCING WORK FOR THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS.
- UPON COMPLETION OF CONSTRUCTION ALL DISTURBED AREAS, AS A MINIMUM, SHALL BE SEEDDED AND MULCHED AND COMPACTED EQUIVALENT TO THAT OF NATIVE SURROUNDING EARTH.

SEDIMENT CONTROL NOTES:

- ALL SEDIMENT CONTROL MEASURES SHOWN ON THESE PLANS SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OR EXISTING SURFACE MATERIAL ON THE BALANCE OF THE SITE.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED.
- ALL TEMPORARY EARTH BERMS AND DIVERSIONS SHALL BE MACHINE COMPACTED, SEEDDED, AND MULCHED FOR TEMPORARY VEGETATIVE COVER WITHIN 7 DAYS AFTER GRADING.
- CONSTRUCTED BERMS, DIKES, ETC., SHALL BE COMPACTED BY SEVERAL PASSES WITH CONSTRUCTION EQUIPMENT (BULLDOZER, BACKHOE, OR OTHER HEAVY EQUIPMENT, OR BY USE OF A SUITABLE ROLLER).
- AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY, ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
- THE IN PLACE SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL THE SITE IS PERMANENTLY STABILIZED AND ALL PERMIT REQUIREMENTS ARE MET.



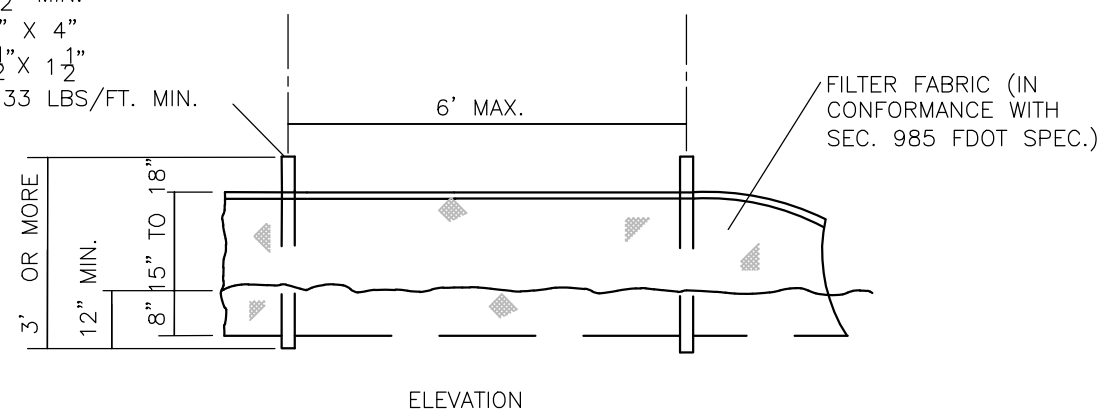
TYPE III SILT FENCE PROTECTION AROUND DITCH BOTTOM INLETS.

NOTE: DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UNPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.

SILT FENCE APPLICATIONS

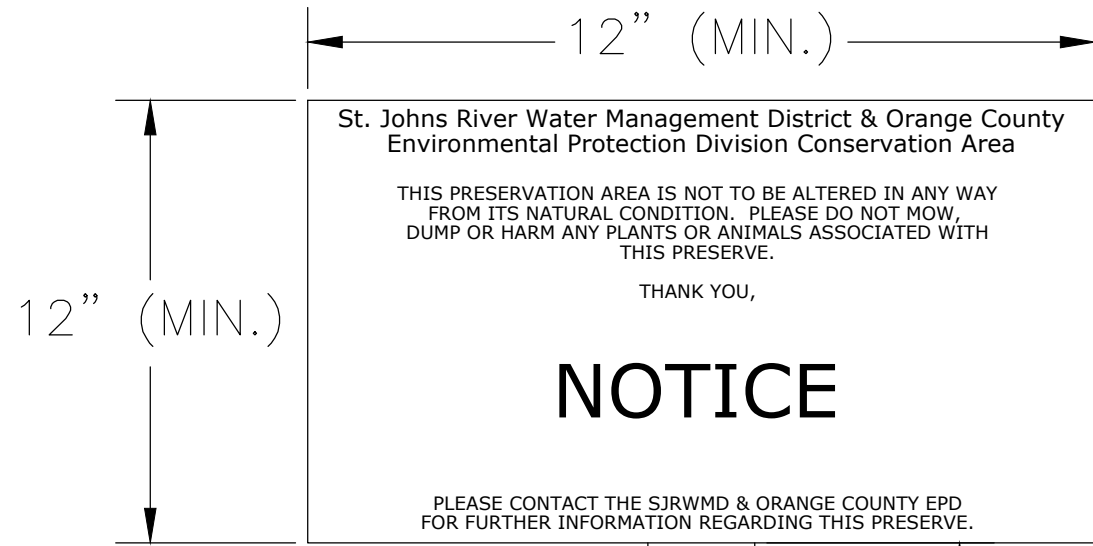
N.T.S.

POST OPTIONS:
WOOD 2 1/2" MIN.
WOOD 2" X 4"
OAK 1 1/2" X 1 1/2"
STEEL 1.33 LBS/FT. MIN.



TYPE III SILT FENCE

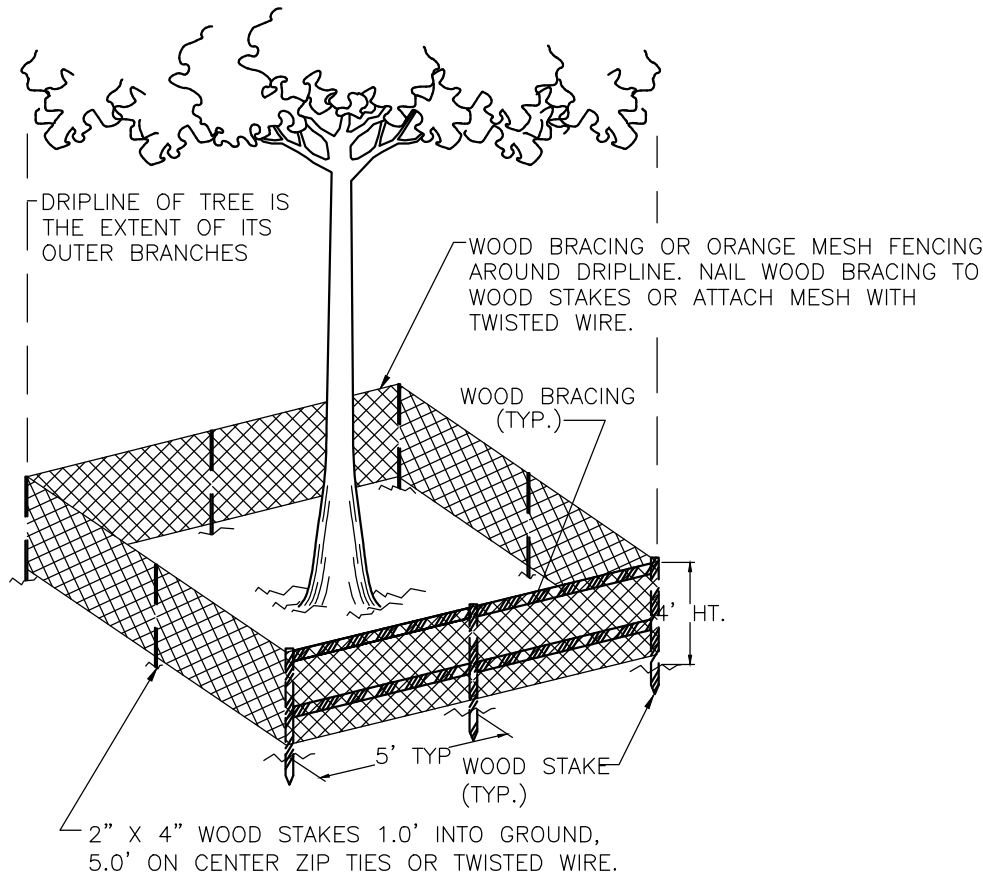
N.T.S.



SIGNS SHALL BE LOCATED AT 50' INTERVALS IN COMMON AREAS, ON THE LANDWARD EDGE OF THE WETLAND/BUFFER LINE

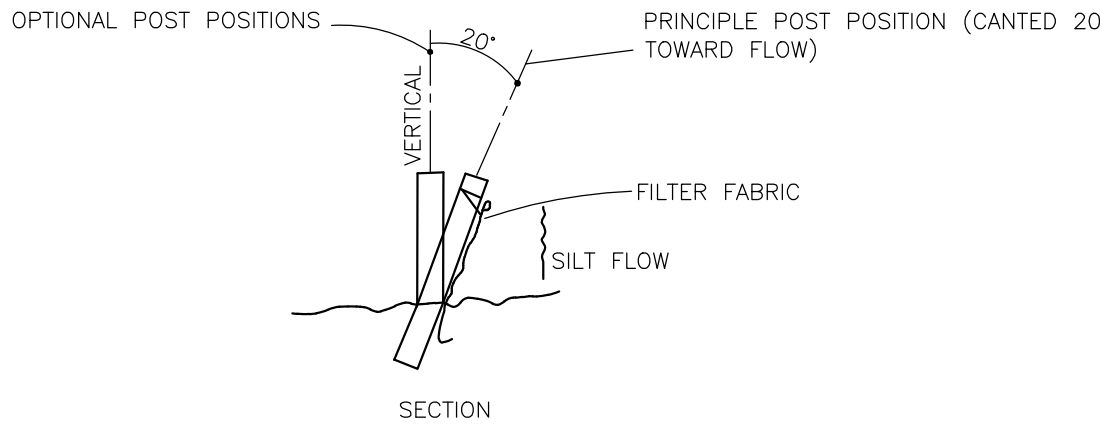
C-200

CONSERVATION AREA SIGNAGE
N.T.S.

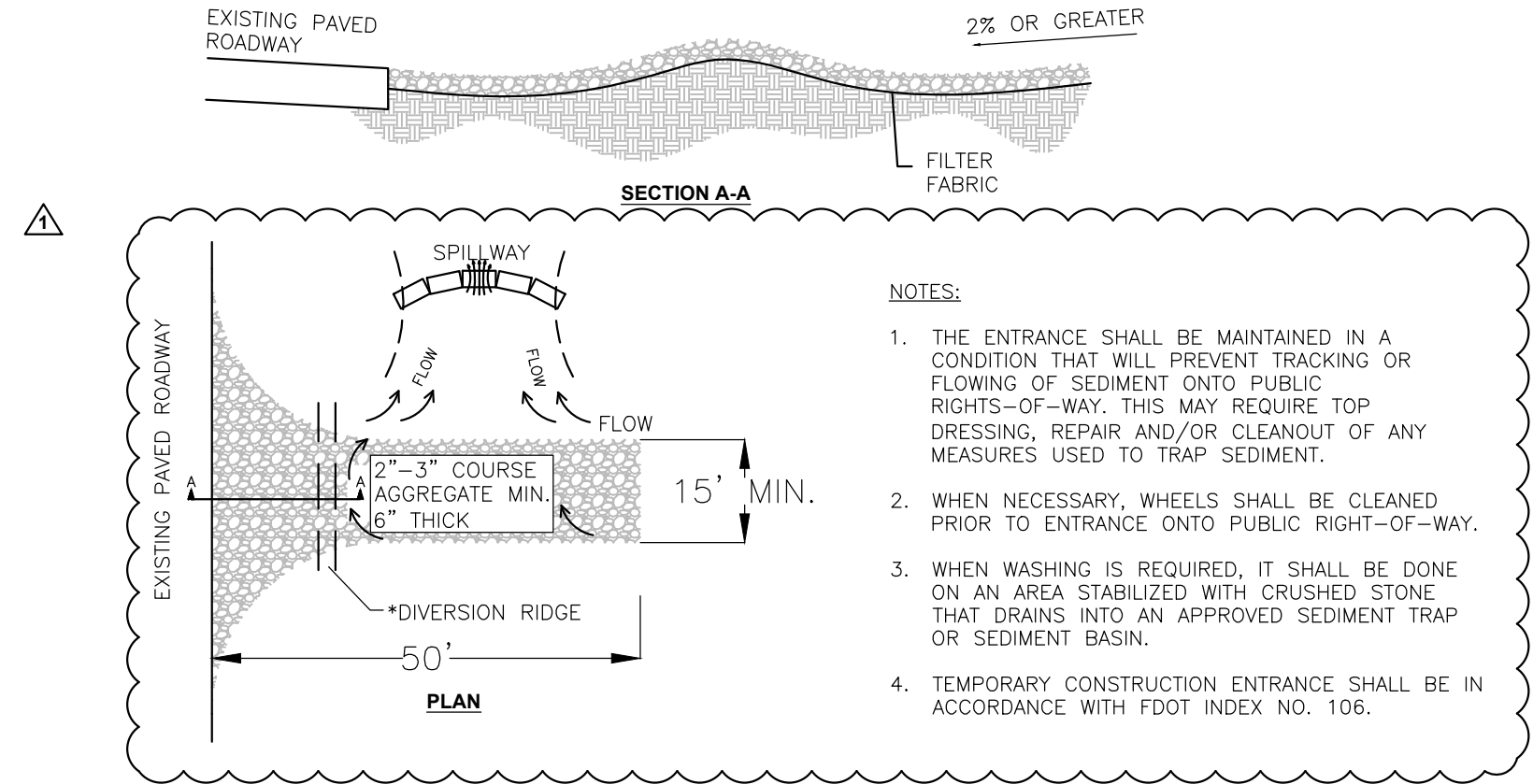


TREE PROTECTION BARRICADE DETAIL

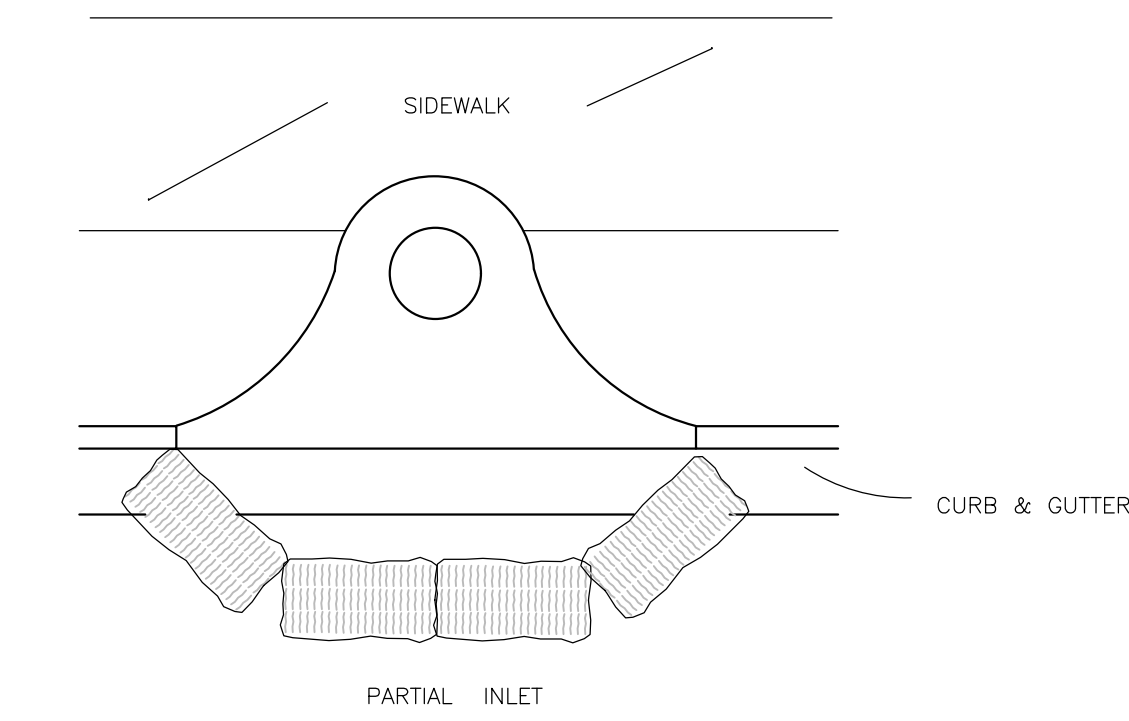
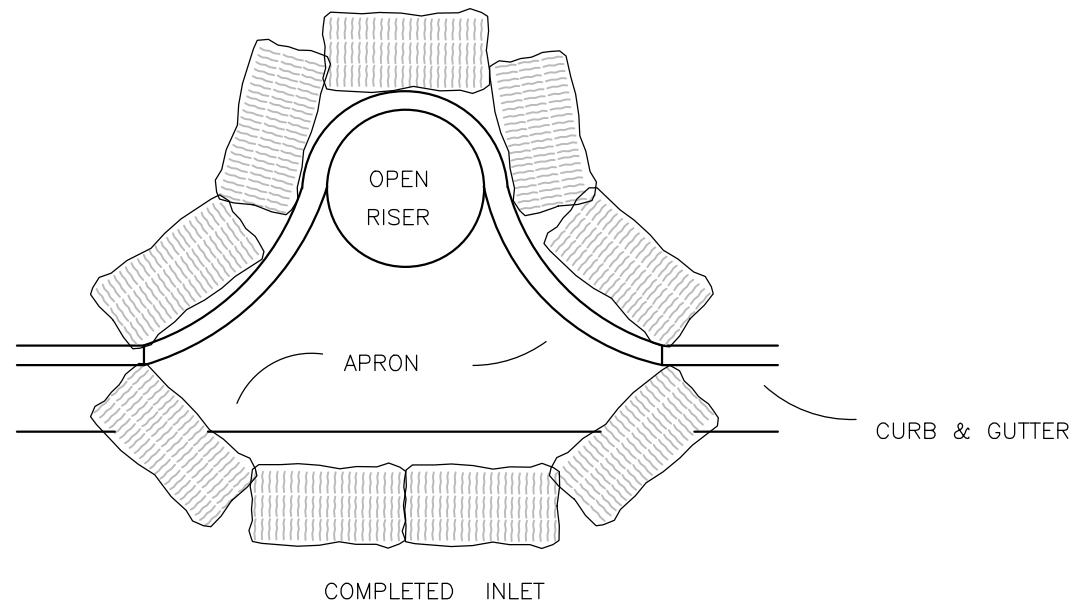
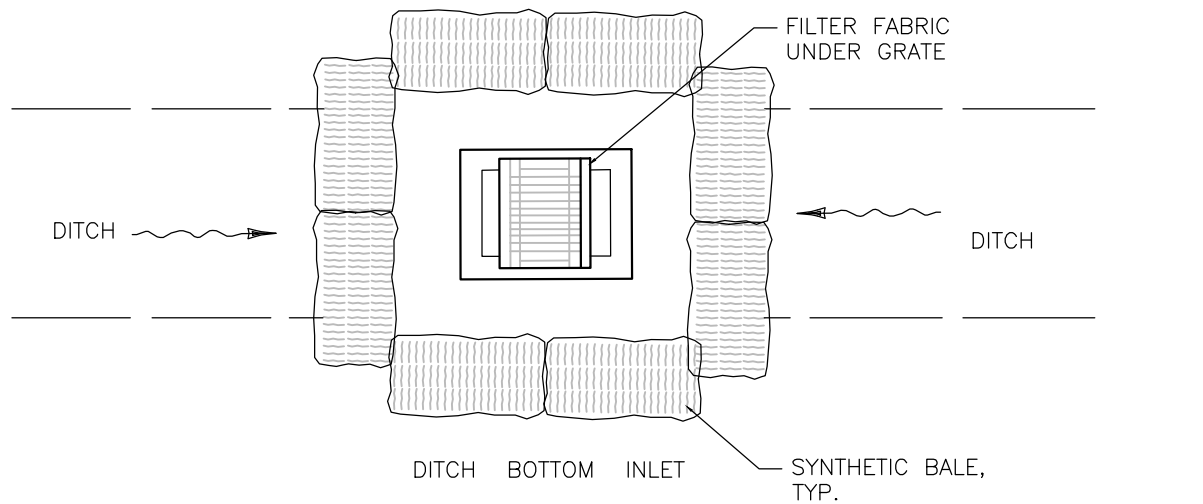
N.T.S.



SECTION



*DIVERSION RIDGE REQUIRED WHERE GRADE EXCEEDS 2%
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE



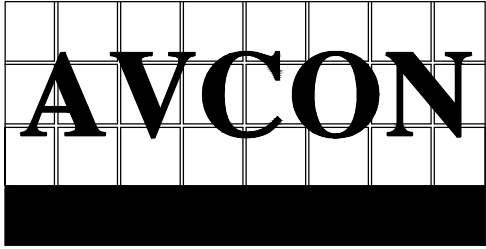
NOTE: ANCHOR SYNTHETIC BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

N.T.S.

received
10-22-21

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ALDO E. MEJIAS, P.E.
FL P.E. #78019

CONSTRUCTION
PLANS

DURHAM PLACE
APARTMENTS

DEMOLITION & EROSION
CONTROL DETAILS

ATTENTION:
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SCALE:

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	03/22/21		ORANGE COUNTY RA#1
2	08/24/21		BID SET

DESIGNED BY: RVB

DRAWN BY: AEM

CHECKED BY: AEM

APPROVED BY: RVB

DATE: 09-17-21

AVCON PROJECT NO. 2020.0099.29

C-201

SITE DATA

- PROJECT AREA: 20.81 AC. (906,500 S.F.)
- PROJECT ADDRESS: 5027 SOUTH ORANGE BLOSSOM TRAIL, ORLANDO, FL 32839
- PARCEL I.D.: 14-23-29-0000-00-003, 15-23-29-0000-00-020
- CAD#: CAD-21-02-038

AREAS FOR TOTAL SITE:

PROPOSED CONCRETE:	21,295 S.F. (0.489 AC.)	2.35%
PROPOSED PAVEMENT:	89,312 S.F. (2.050 AC.)	9.85%
BUILDING:	45,167 S.F. (1.037 AC.)	4.98%
EXISTING WETLAND/LAKE:	365,343 S.F. (8.387 AC.)	40.30%
PROPOSED WET PONDS:	25,735 S.F. (0.591 AC.)	2.84%
OPEN AREA:	359,648 S.F. (8.256 AC.)	39.67%
TOTAL SITE AREA:	906,500 S.F. (20.810 AC.)	100%

PERVIOUS/IMPERVIOUS CALCULATIONS:

IMPERVIOUS AREA:	546,852 S.F. (12.55 AC.)	60.33%
PERVIOUS AREA:	359,648 S.F. (8.26 AC.)	39.67%
TOTAL AREA:	906,500 S.F. (20.81 AC.)	100%
PARKING REQUIRED		

1.5 SPACES PER 1 BEDROOM UNIT - 53 UNITS * 1.5 = 80 SPACES
2 SPACES PER 2 OR 3 BEDROOM UNIT - 49 UNITS * 2 = 98 SPACES
TOTAL = 178 SPACES

A VARIANCE HAS BEEN APPROVED BY ORANGE COUNTY BZA TO REDUCE THE REQUIRED PARKING TO 1.15 SPACES PER UNIT (118 TOTAL SPACES)

TOTAL PARKING PROVIDED	118 SPACES
STANDARD SPACES (10'X18')	112 SPACES
HANDICAP SPACES (12'X18')	6 SPACES

BICYCLE PARKING

2 SPACES PER 10 VEHICLE SPACES - 24 SPACES (MAX 8.)

PROVIDED: 10 SPACES

TOTAL AREA TO BE DEVELOPED - 12.423 AC

EXCLUDES WETLAND/LAKE AREA

IMPERVIOUS AREA	
BUILDING, SIDEWALK, PAVEMENT	- 3.576 ACRES
POND NCL	- 0.591 ACRES
TOTAL IMPERVIOUS AREA	- 4.167 ACRES (33.54%) (80% MAX)

PERVIOUS AREA - 8.256 ACRES (66.46%)

TOTAL PROJECT AREA - 12.423 ACRES (100.0%)

DENSITY

MULTI-FAMILY - 102 UNITS / 12.423 ACRES = 8.21 DU/AC

OPEN SPACE REQUIRED

45% OF BUILDABLE LAND
12.423 AC PROJECT SITE
12.423 AC X 45% = 5.590 AC

OPEN SPACE PROVIDED:

CATEGORY A: 8.256 AC
PERVIOUS AREAS (PARK, AREA SOUTH OF ENTRANCEWAY, LANDSCAPE ISLANDS/BUFFERS)

TOTAL PROVIDED: 8.256 AC

LEGEND:

	ASPHALT PAVEMENT
	CONCRETE

BUILDING DATA:

BUILDING 1	- 15,710 SF	- 41'-6 1/2"
BUILDING 2	- 20,821 SF	- 41'-6 1/2"
CLUBHOUSE	- 8,636 SF	- 28'-5 5/8"

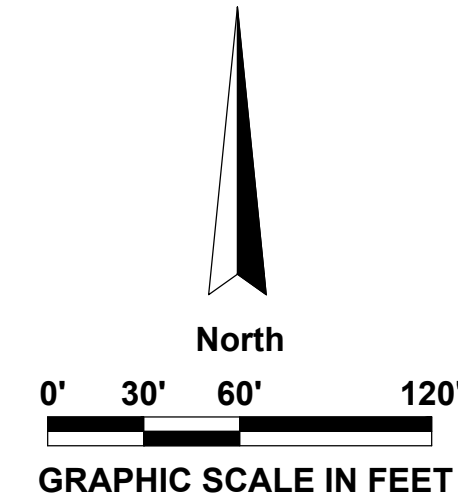
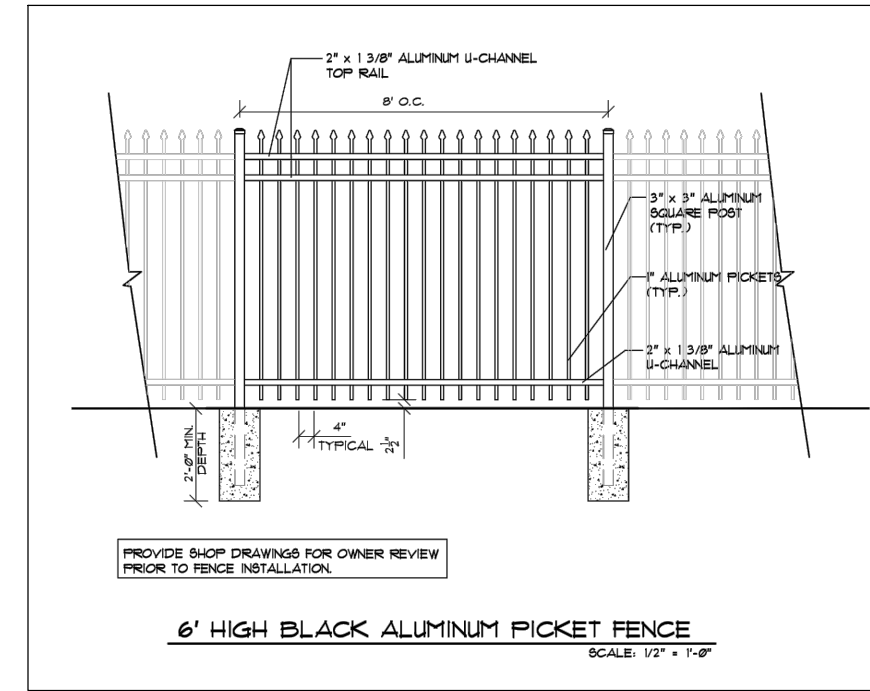
MAX BUILDING HEIGHT: 43'0"

A VARIANCE HAS BEEN APPROVED TO ALLOW FOR A MAXIMUM BUILDING HEIGHT OF 43 FT

UNIT DATA:

UNIT A	- 50 UNITS, 634 SF
UNIT A UFAS	- 3 UNITS, 634 SF
UNIT B	- 34 UNITS, 942 SF
UNIT B UFAS	- 3 UNITS, 942 SF
UNIT C	- 8 UNITS, 1,192 SF
UNIT C UFAS	- 4 UNITS, 1,192 SF

TOTAL - 102 UNITS



DRAFT

LAKE BUMBY

CONCRETE SLAB & RETAINING WALL TO SPAN WETLAND (NO WETLAND IMPACT)
PROPOSED BOARDWALK (NO WETLAND IMPACTS)
PROPOSED CONSPAN ARCH CULVERT (NO WETLAND IMPACT)

received
10-22-21

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CONSTRUCTION PLANS

DURHAM PLACE APARTMENTS

OVERALL SITE PLAN

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SCALE:

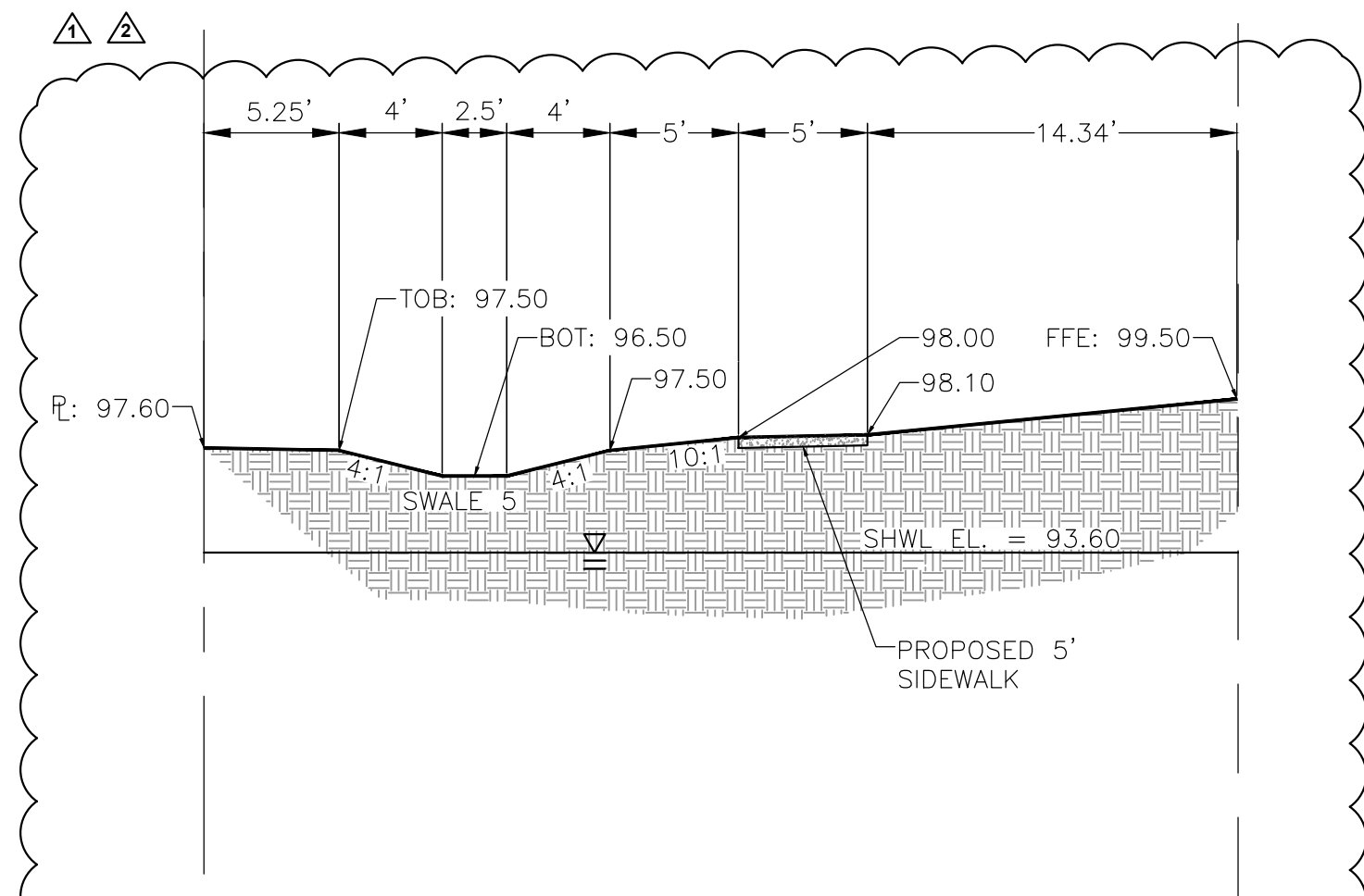
REVISIONS:

NO.	DATE	BY	DESCRIPTION
	03/22/21		ORANGE COUNTY RA#1
	08/13/21		ORANGE COUNTY RA#2
	08/24/21		BID SET
	09/17/21		FDOT DRIVEWAY/COUNTY RA#3

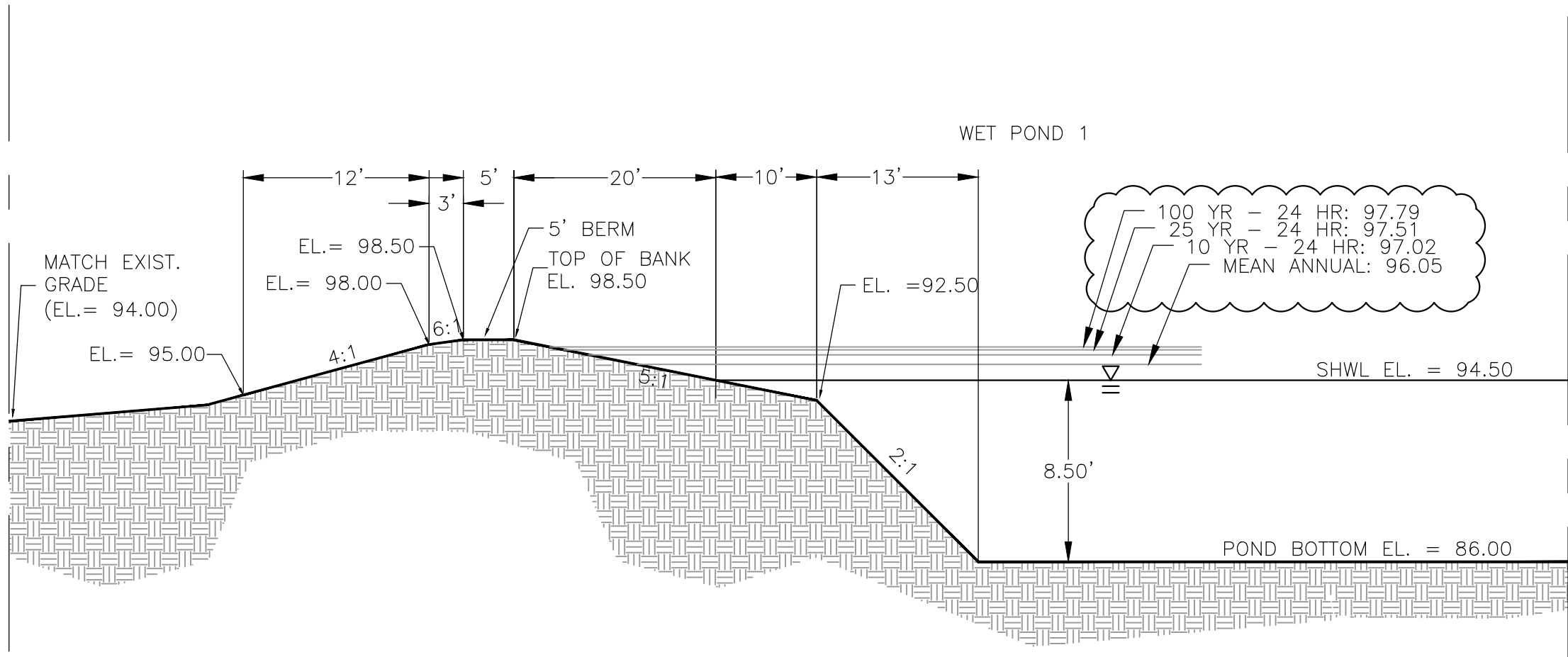
DESIGNED BY: RVB
DRAWN BY: AEM
CHECKED BY: AEM
APPROVED BY: RVB
DATE: 09-17-21

AVCON PROJECT No. 2020.0099.29

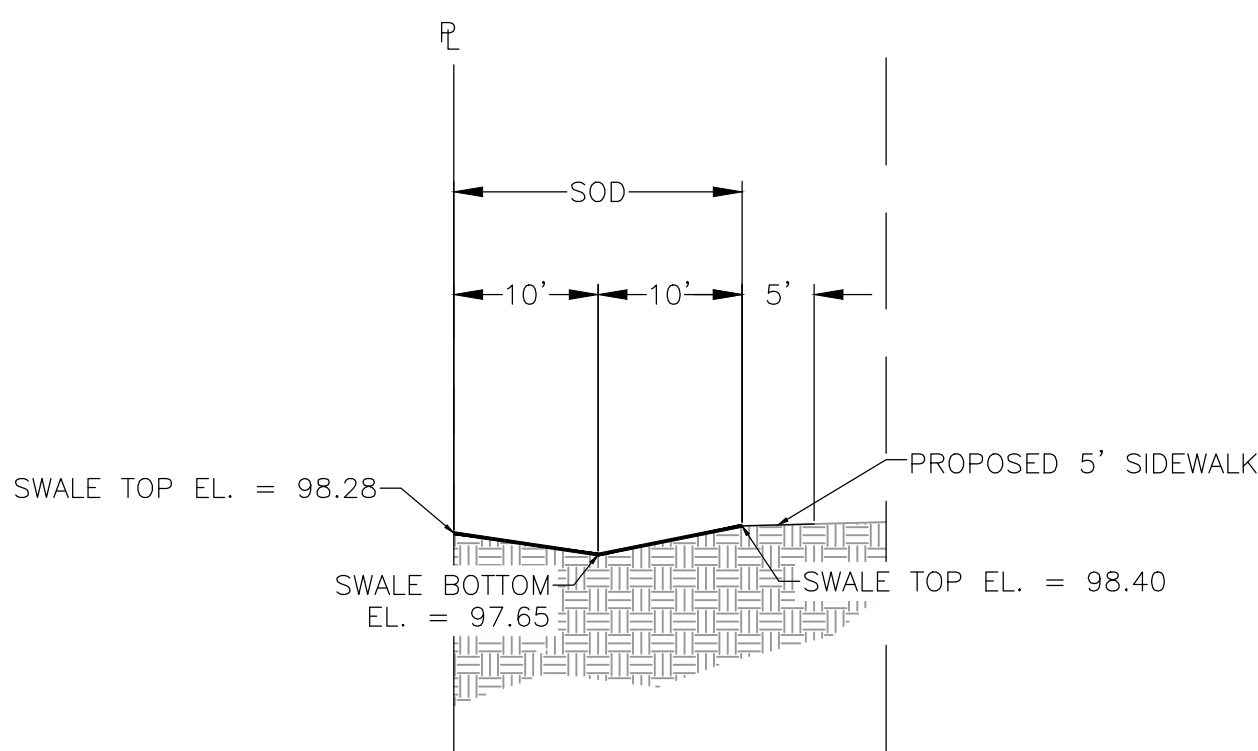
C-300



SECTION A - A (SWALE 5)
N.T.S.



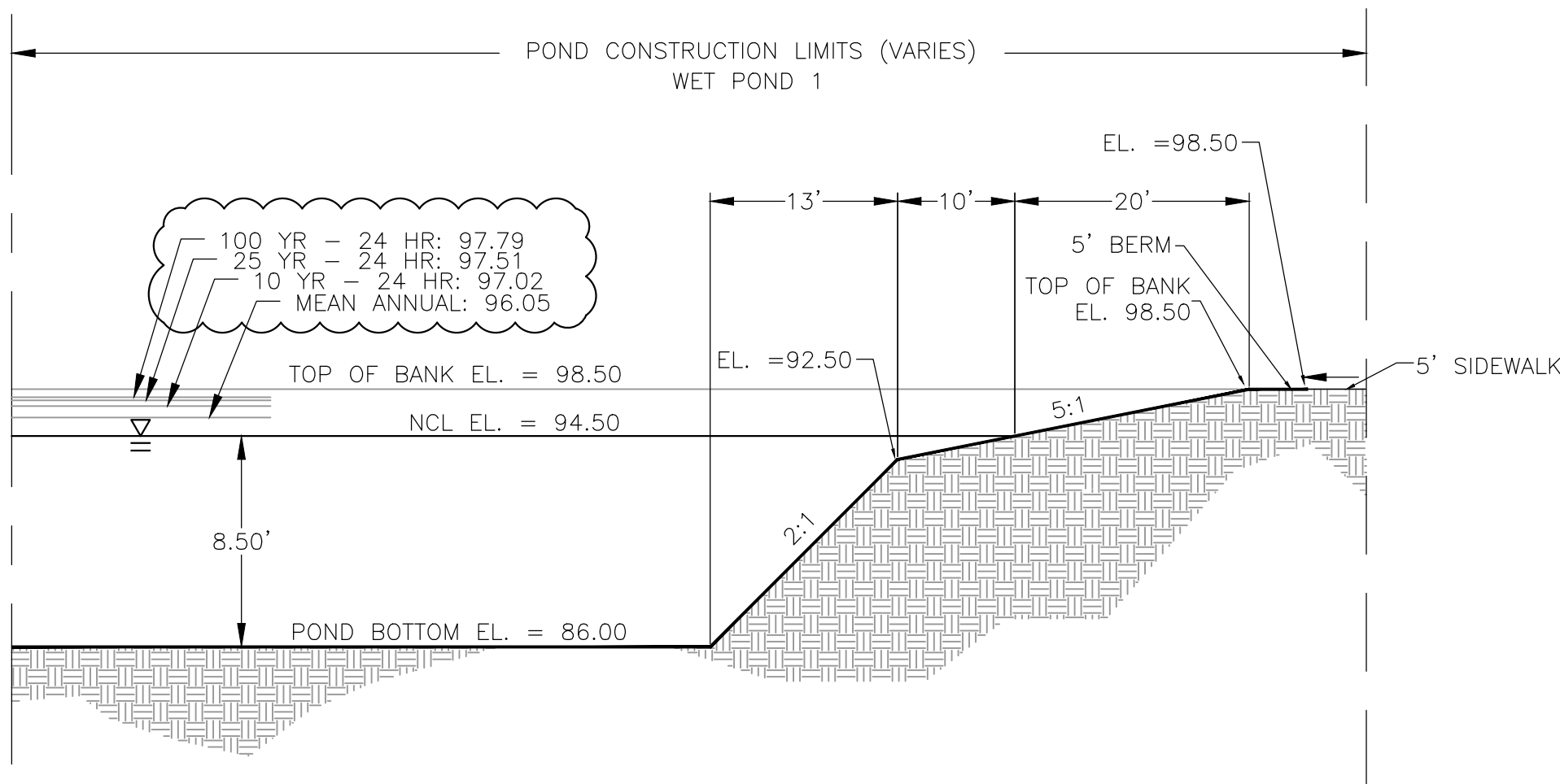
SECTION B - B (WET POND 1)
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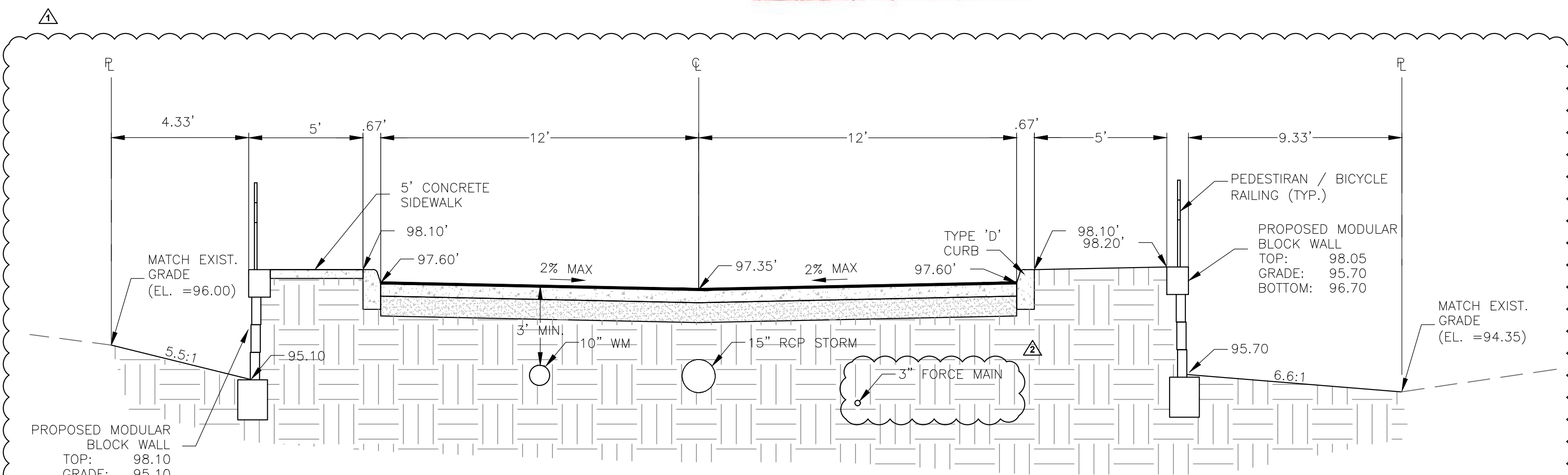
SECTION D - D
N.T.S.

received
10-22-21

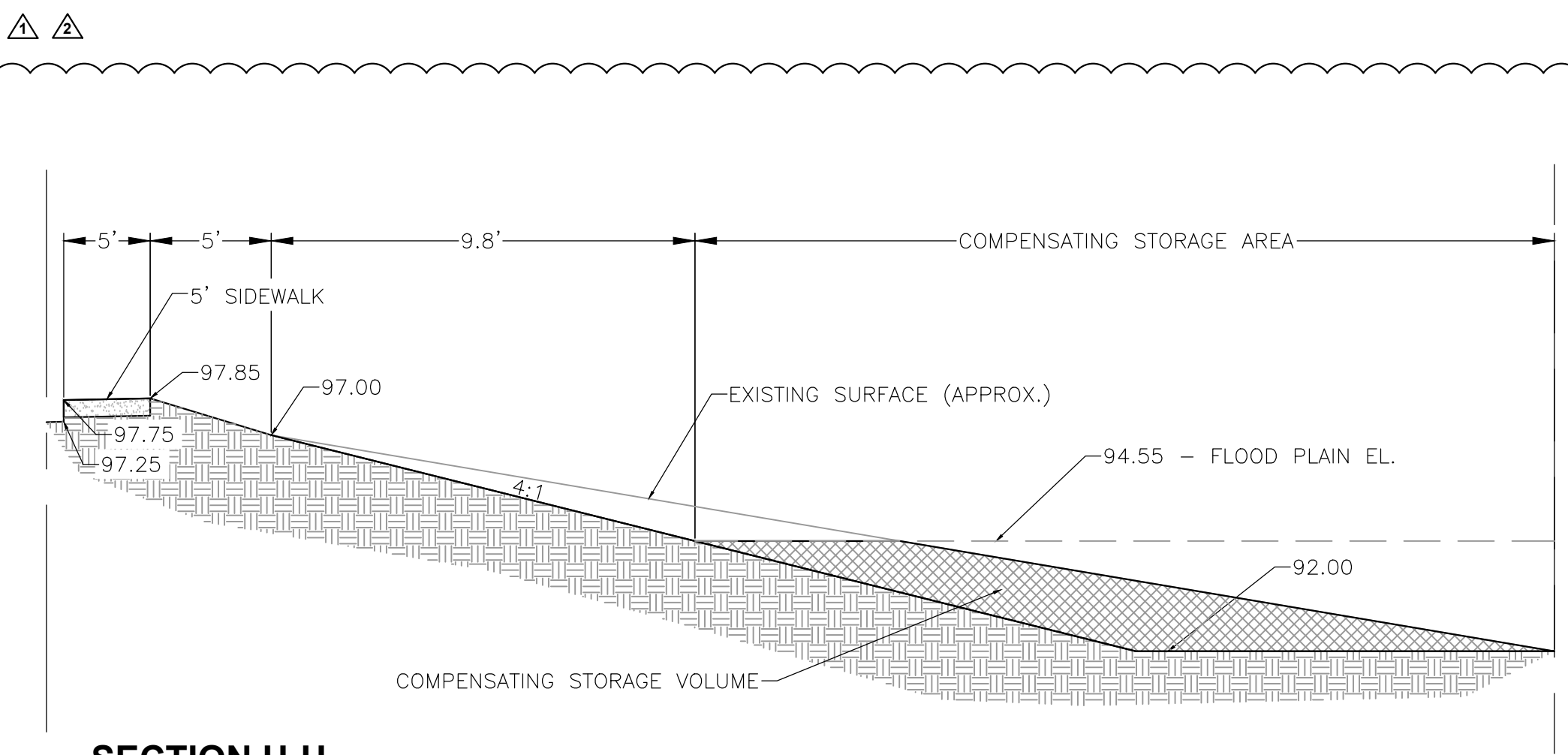
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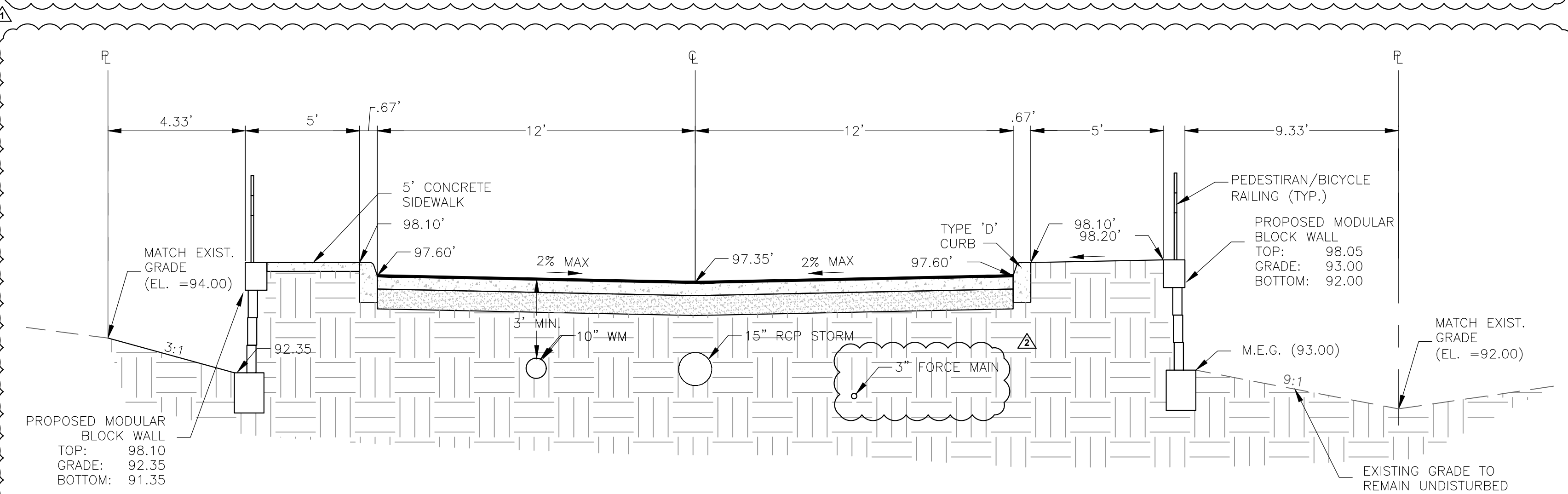
SECTION C - C (WET POND 1)
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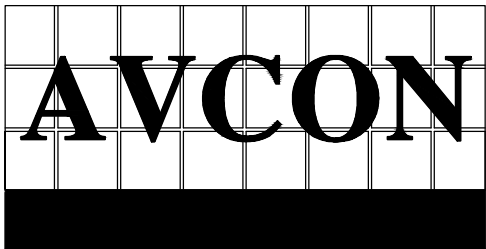
SECTION F-F (ENTRANCE ROAD)
N.T.S.



SECTION H-H
N.T.S.



SECTION G-G (ENTRANCE ROAD)
N.T.S.



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CONSTRUCTION PLANS

DURHAM PLACE APARTMENTS

TYPICAL SECTIONS 1

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SCALE:

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	03/22/21		ORANGE COUNTY RA#1
2	08/13/21		ORANGE COUNTY RA#2

DESIGNED BY: RVB
DRAWN BY: AEM
CHECKED BY: AEM
APPROVED BY: RVB
DATE: 08-13-21

AVCON PROJECT No. 2020.0099.29

C-508